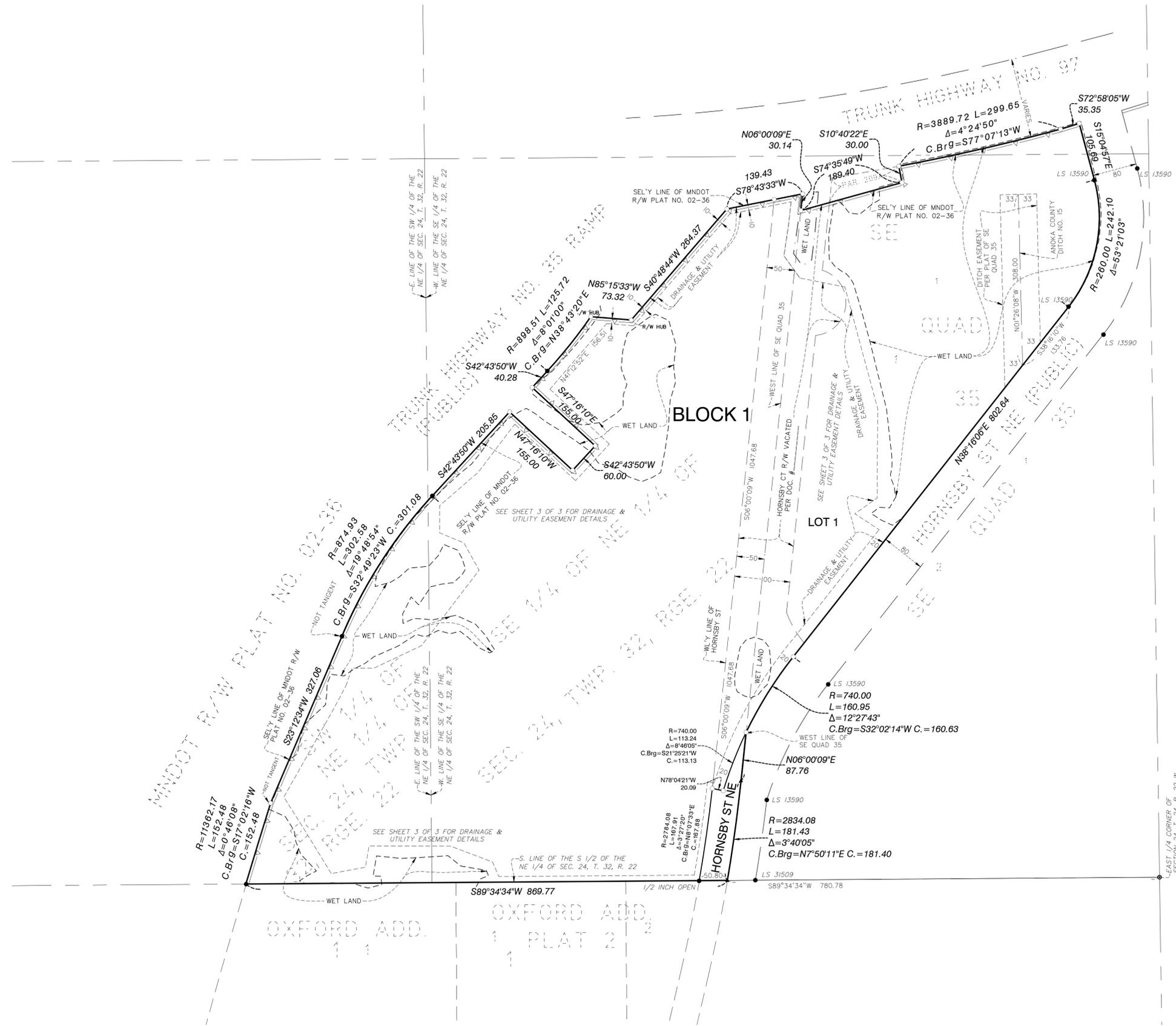
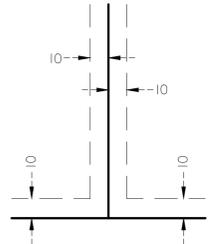


# LOVES TRAVEL STOP COLUMBUS



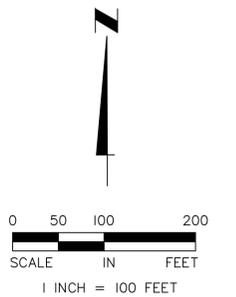
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



Being 10 feet in width and adjoining lot lines and 10 feet in width and adjoining street lines as shown on this plat, unless otherwise shown.

THE S LINE OF THE S 1/2 OF THE NE 1/4 OF SEC. 24, T. 32, R. 22, ANOKA COUNTY, MINNESOTA IS ASSUMED TO HAVE A BEARING OF S89°34'34\"

- Denotes monument found 1/2 inch iron pipe
- Denotes 1/2 inch x 18 inch iron monument set marked by license no. 44110 unless otherwise shown
- ⊙ Denotes Anoka County Cast Iron Monument
- ▲ Denotes found nail
- ▽— Denotes Controlled Access dedicated to the County of Anoka
- - - - - Denotes Delineated wetland boundary

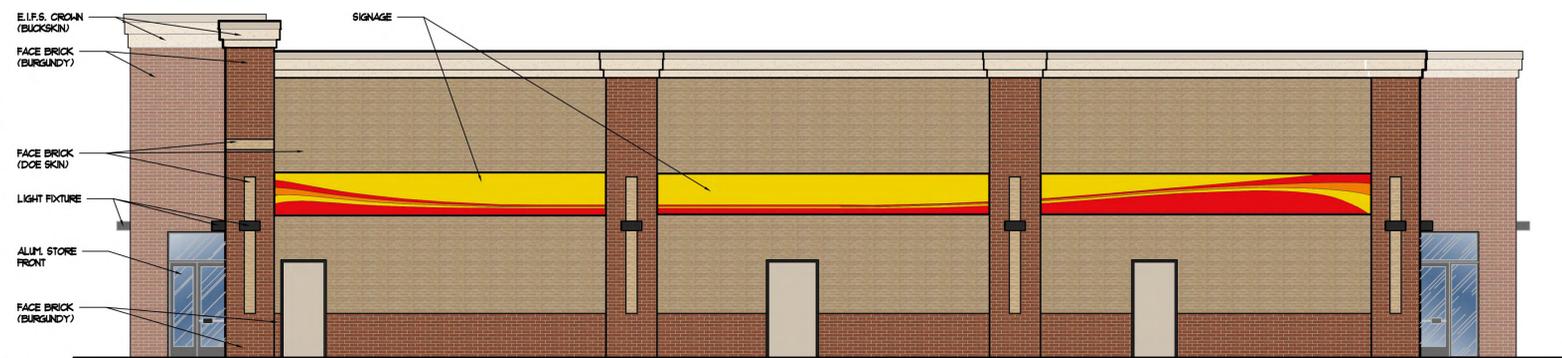


MATERIAL	%
E.I.F.S. CROWN	6%
BRICK	19%
STOREFRONT	13%
H.M. DOOR	---
METAL COPING	2%
TOTAL SQFT	4210.14



**A NORTH ELEVATION**  
SCALE: NOT TO SCALE

MATERIAL	%
E.I.F.S. CROWN	6%
BRICK	84%
STOREFRONT	4%
H.M. DOOR	3%
METAL COPING	3%
TOTAL SQFT	2,319.09



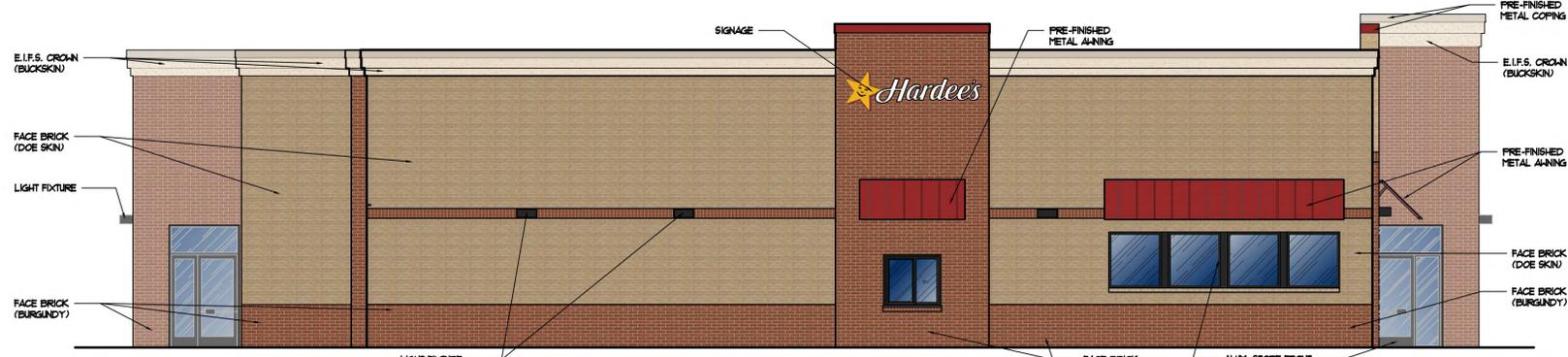
**B SOUTH ELEVATION**  
SCALE: NOT TO SCALE

MATERIAL	%
E.I.F.S. CROWN	6%
BRICK	86%
STOREFRONT	3%
H.M. DOOR	2%
METAL COPING	3%
TOTAL SQFT	4,024.44



**C WEST ELEVATION**  
SCALE: NOT TO SCALE

MATERIAL	%
E.I.F.S. CROWN	5%
BRICK	84%
STOREFRONT / WINDOW	8%
H.M. DOOR	---
METAL COPING	3%
TOTAL SQFT	4,024.44



**D EAST ELEVATION**  
SCALE: NOT TO SCALE

**E.I.F.S. COLOR LEGEND**  
 DRYVIT #449 BUCKSKIN  
 • E.I.F.S. CROWN SHALL HAVE THE DRYVIT 'SANDPEBBLE' TEXTURE

**BRICK COLOR LEGEND**  
 ACME BRICK - BLEND 131 'BURGUNDY'  
 VELOUR - KING SIZE (FIELD BRICK)  
 STANDARD GRAY MORTAR

ACME BRICK - ELP BLEND 186 'DOE SKIN'  
 VELOUR - KING SIZE (ACCENT BRICK)  
 STANDARD GRAY MORTAR

**Pascal Aughtry & Associates, PC**  
 405.463.3494  
 Fax 405.463.3493  
 937 East Britton Road  
 Oklahoma City, OK 73114  
 pascalarch.com

THIS DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL SIGNED AND SEALED DOCUMENT

**Love's Travel Stops**  
 A NEW TRAVEL STOP  
 TIER I  
 COLUMBUS, MN

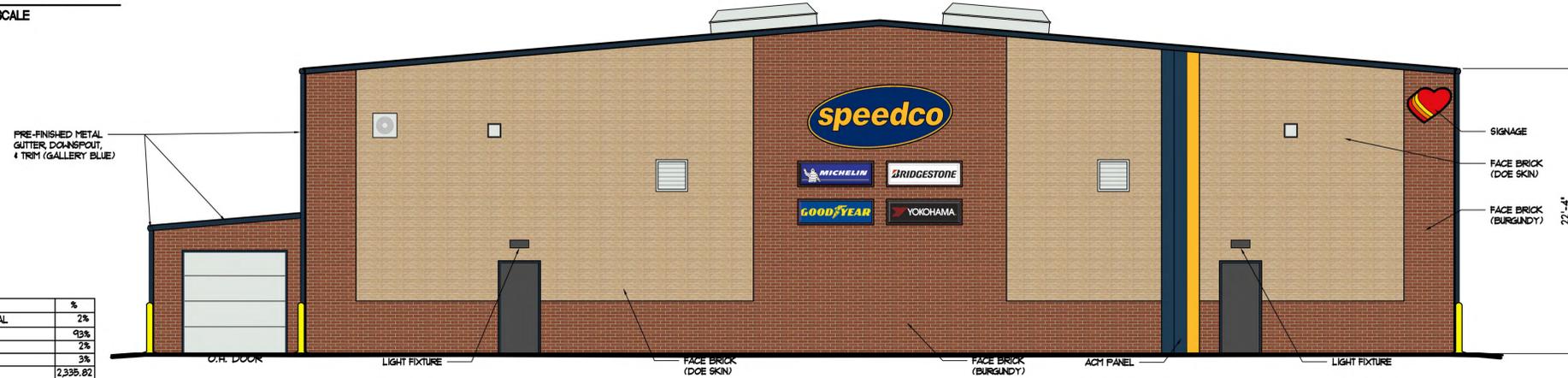
Revisions:	
No.	Date

Project No.: LVIS-  
 Date: --/--  
 Sheet No.:



MATERIAL	%
PRE-FINISHED METAL	2%
BRICK	66%
H.M. DOORS	1%
O.H. DOORS	31%
TOTAL SQFT	2,920.6

**A WEST ELEVATION**  
SCALE: NOT TO SCALE



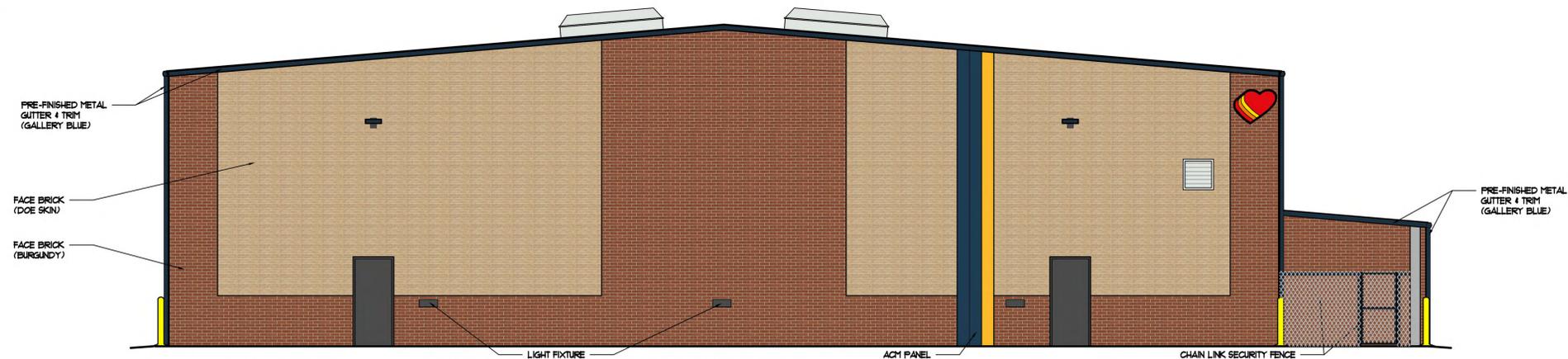
MATERIAL	%
PRE-FINISHED METAL	2%
BRICK	93%
H.M. DOORS	2%
O.H. DOORS	3%
TOTAL SQFT	2,335.82

**B NORTH ELEVATION**  
SCALE: NOT TO SCALE



MATERIAL	%
PRE-FINISHED METAL	2%
BRICK	66%
ALUM. DOOR	1%
WINDOW	1%
O.H. DOORS	30%
TOTAL SQFT	2,920.6

**C EAST ELEVATION**  
SCALE: NOT TO SCALE



MATERIAL	%
PRE-FINISHED METAL	2%
BRICK	96%
H.M. DOORS	2%
TOTAL SQFT	2,335.8

**D SOUTH ELEVATION**  
SCALE: NOT TO SCALE

**BRICK COLOR LEGEND**

ACHE BRICK - BLEND 131 'BURGUNDY'
VELOUR - KING SIZE (FIELD BRICK)
STANDARD GRAY MORTAR
ACHE BRICK - ELP BLEND 186 'DOE SKIN'
VELOUR - KING SIZE (ACCENT BRICK)
STANDARD GRAY MORTAR



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**Love's Travel Stops**

A NEW TRAVEL STOP  
TIER I  
COLUMBUS, MN

Revisions:

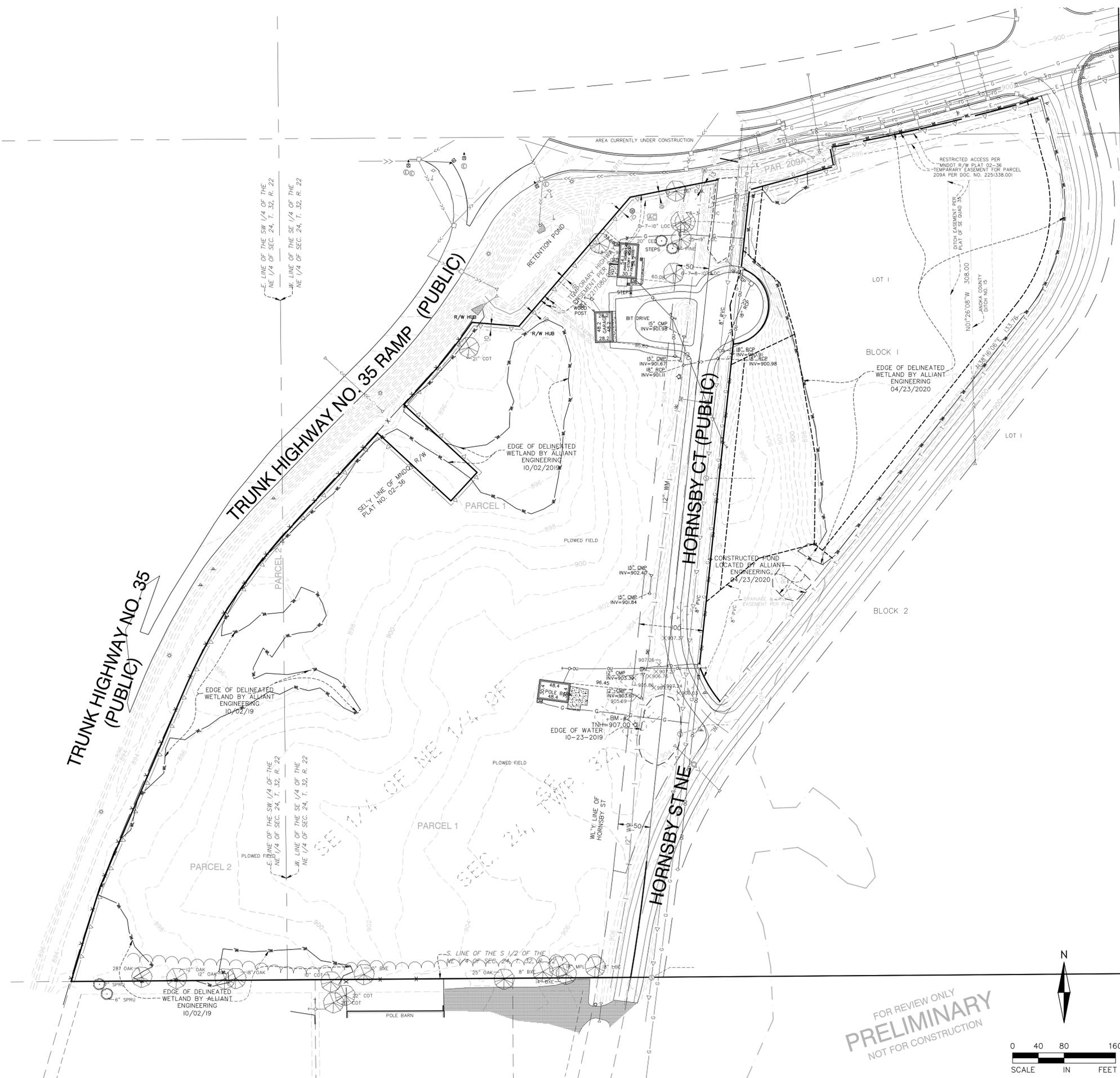
No.	Date

Project No.: LVS-  
Date: --/--  
Sheet No.:

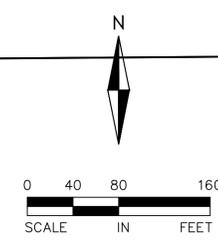
OF:

Drawing name: X:\2019\190174\volm\_sheets\190174excon.dwg Aug 14, 2020 11:48am

E4



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PROPERTY DESCRIPTION

Parcel 1:  
That part of the Southeast Quarter of the Northeast Quarter of Section 24, Township 32 North, Range 22 West, Anoka County, Minnesota, lying southeasterly, southwesterly, and southerly of the southeasterly rights of way of Trunk Highway Nos. 35 and 97 as shown on Minnesota Department of Transportation Right of Way Plat No. 02-36, and westerly of the west line of the plat of SE QUAD 35, according to the recorded plat thereof, Anoka County, Minnesota.

Parcel 2:  
That part of the Southwest Quarter of the Northeast Quarter of Section 24, Township 32 North, Range 22 West, Anoka County, Minnesota, lying southeasterly of the southeasterly right of way of Trunk Highway No. 35 as shown on Minnesota Department of Transportation Right of Way Plat No. 02-36.

Anoka County, Minnesota  
Abstract Property

AND

Lot 1, Block 1, SE Quad 35, Anoka County, Minnesota.

CERTIFICATION

To Transitory Holding, LLC, and Oklahoma limited liability company; American Land Title Association as agent for Chicago Title Insurance Company;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(a)(b), 7(a), 8, 9, 11, 13, 17, and 18 of Table A thereof. The fieldwork was completed on November 21, 2019.

Date of Plat or Map: February 10, 2020

REVIEW COPY

Peter Goers, Professional Land Surveyor  
Minnesota License No. 44110  
Email: pgoers@alliant-inc.com

NOTES

- 1. This survey and the property description shown here on are based upon information found in the commitment for title insurance prepared by American Land Title Association as agent for Chicago Title Insurance Company, Commitment No. 302026, dated August 6, 2019, amended January 29, 2020.
2. The locations of underground utilities are depicted based on Gopher State One Call, available city maps, records and field locations and may not be exact. Verify critical utilities prior to construction or design.
3. The basis of bearings is the S line of the of the S 1/2 of the NE 1/4 of Sec. 24, T. 32, R. 22 and has a bearing of S89°34'34"W on Anoka County Coordinate System NAD83 (96 Adj.).
4. All distances are in feet.
5. The area of the above described property is 995,440 square feet or 22.852 acres (excluding ROW to be vacated).
6. There are no regular striped parking stalls and no handicapped parking stalls on subject property.
7. The property lies within Zone X (unshaded - areas determined to be outside the 0.2% annual chance floodplain) of Federal Emergency Management Agency (FEMA) Flood Insurance Community Panel No. 27003C0360E, effective December 16, 2015.
8. Names of adjoining owners are depicted based on Anoka County GIS tax information.
9. Trunk Highway No 97 was under construction at the time of field work.
10. Survey related exceptions set forth in Schedule B, Section Two of the Title Commitment:
Item no. 12 references Restricted access, as evidenced by Warranty Deed from John W. Haluptzok and Eva B. Haluptzok, his wife, to State of Minnesota dated July 24, 1964, recorded October 21, 1964, as Document No. 267860, is not plottable.
Item no. 14 references Restricted access, as evidenced by MN Department of Transportation ROW Plat No. 02-35 recorded April 9, 2018, as Document No. 2196634.001. Amended by MN Department of Transportation ROW Plat No. 02-36 recorded July 30, 2018, as Document No. 2205345.001, is depicted on survey.
Item no. 15 references a Notice of Lis Pendens (Condemnation for Trunk Highway Purposes) evidencing a fee acquisition, rights of access, and temporary easement, recorded December 26, 2018, as Document No. 2217080.001, is depicted on survey.

Benchmark No. 1: MnDOT concrete/bituminous slab 0283 C located in Columbus, in the south corner of large round concrete lift station, 0.2 mile east along Trunk Highway 97 from the junction of Trunk Highway 97 and Interstate Highway 35 in Columbus, to Trunk Highway 97 milepost 0.2, then 0.3 mile south along Hornsby Street, then 0.15 mile west along 152nd Ave, 4.0 feet south of 152nd Ave, 13.4 feet east of a fence line, 19.8 feet west of Feller Street, 12.2 feet east of a witness post and has an elevation of 899.076 feet (NAVD88).
Benchmark No. 2: A Top Nut of Hydrant located on the west side of the intersection of Hornsby Ct and Hornsby Street NE and has an elevation of 907.00 feet (NAVD88).

LEGEND

- SET IRON MONUMENT
SET NAIL
IRON MONUMENT FOUND
ELECTRIC MANHOLE
WATER VALVE
TELEPHONE BOX
ELECTRIC BOX
LIGHT POLE
SANITARY MANHOLE
SIGN
GAS METER
POWER POLE
STORM MANHOLE
AIR CONDITIONER
HYDRANT
ELECTRIC METER
TRAFFIC SIGNAL
GUY WIRE
ELECTRIC METER
SCHEDULE B EXCEPTION
CATCH BASIN
PLATTED DIMENSION
MPL DENOTES MAPLE TREE AND DIAMETER SIZE
COT DENOTES COTTONWOOD TREE AND DIAMETER SIZE
OAK DENOTES OAK TREE AND DIAMETER SIZE
BXE DENOTES BOX ELDER TREE AND DIAMETER SIZE
SANITARY SEWER
GAS
RESTRICTED ACCESS
UNDERGROUND ELECTRIC
WATERMAIN
STORM SEWER
OVERHEAD UTILITIES
FIBER OPTIC
UNDERGROUND TELEPHONE
FENCES
EDGE OF WET LANDS
RESTRICTED ACCESS
FEMA LINES
CONCRETE
BITUMINOUS
GRAVEL
RIP RAP

ALLIANT
733 Marquette Avenue
Suite 700
Minneapolis, MN 55402
612.758.3080
www.alliant-inc.com

LOVE'S TRAVEL PLAZA
1544 HORNSBY ST
COLUMBUS, MN
PUD SUBMITTAL
OVERALL EXISTING CONDITIONS

Table with columns: QUALITY ASSURANCE/CONTROL, BY, DATE, ISSUE. Includes rows for 8-14-20 CITY&WATERSHED SUBMITTAL and PROJECT TEAM DATA (DESIGNED: DMS, DRAWN: GPL, PROJECT NO: 219-0174).

C2.1

# LOVES TRAVEL STOP COLUMBUS

## LEGAL DESCRIPTION

That part of the Southeast Quarter of the Northeast Quarter of Section 24, Township 32 North, Range 22 West, Anoka County, Minnesota, lying southeasterly, southwestly, and southerly of the southeasterly rights of way of Trunk Highway Nos. 35 and 97 as shown on Minnesota Department of Transportation Right Of Way Plat No. 02-36, and westerly of the west line of the plat of SE QUAD 35, according to the recorded plat thereof, Anoka County, Minnesota.

That part of the Southwest Quarter of the Northeast Quarter of Section 24, Township 32 North, Range 22 West, Anoka County, Minnesota, lying southeasterly of the southeasterly right of way of Trunk Highway No. 35 as shown on Minnesota Department of Transportation Right Of Way Plat No. 02-36.

AND

Lot 1, Block 1, SE Quad 35, Anoka County, Minnesota.

## NOTES

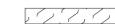
Area: Total = 1,046,528 sq. feet or 24.025 acres  
Total minus dedicated R/W = 1,036,555 or 23.796 acres

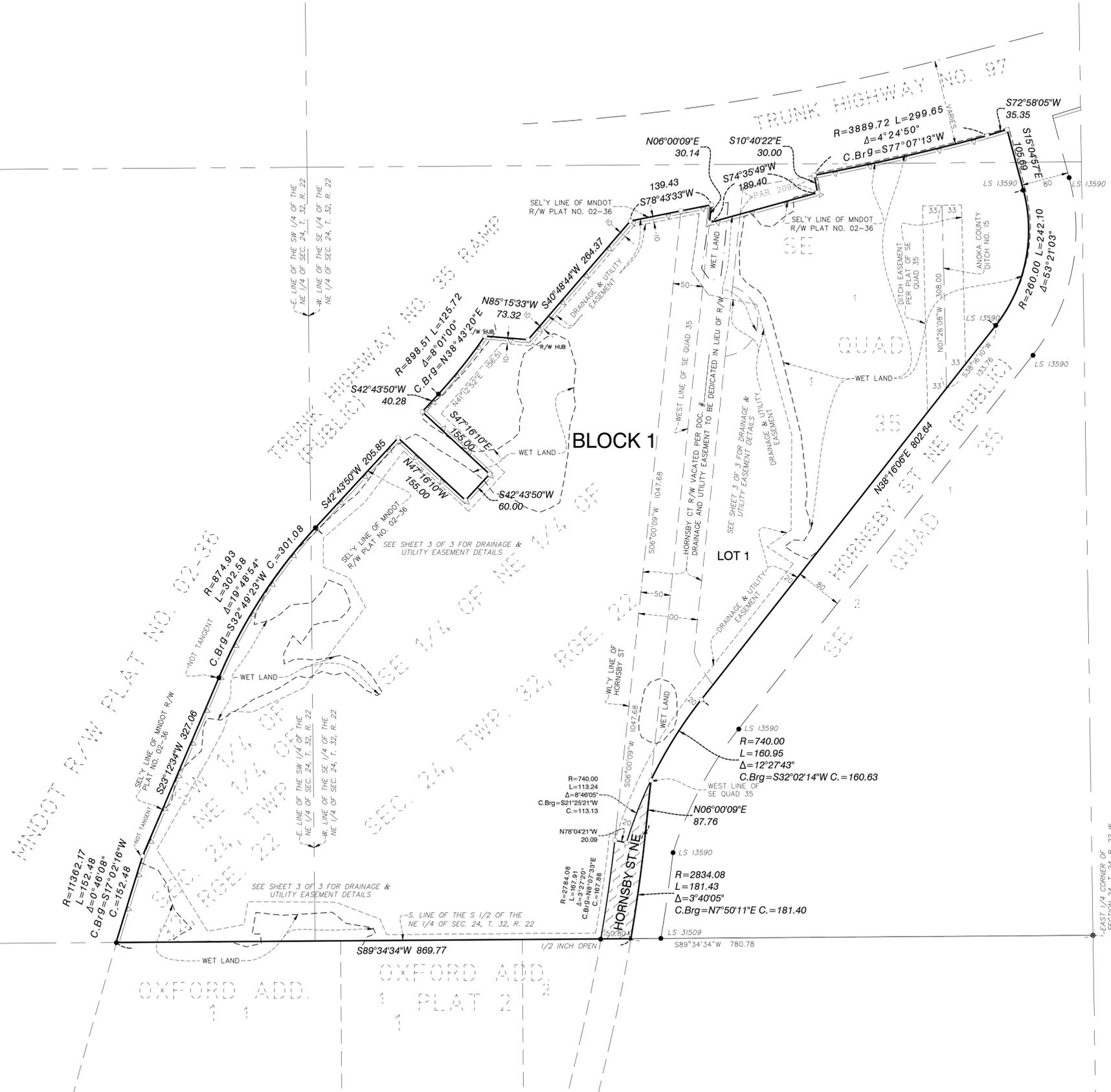
Existing Zoning: CR - Commercial Retail

Proposed Zoning: PVD

PARCEL AREA TABLE		
PARCEL	AREA SF	AREA AC
LOT 1	1,036,555	23.80
ROW - HORNSBY ST	9,973	0.23
TOTAL	1,046,528	24.02

## LEGEND

 ROW TO BE DEDICATED




**ALLIANT**  
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Suite 700  
Minneapolis, MN 55402  
612.758.3080  
www.alliant-inc.com

COLUMBUS LOVES TRAVEL STOP  
1544 HORNSBY ST NE  
PRELIMINARY PLAT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA.

DANIEL SJOBLUM, PE  
7-15-20 54821  
Date License No.

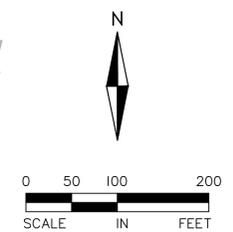
### QUALITY ASSURANCE/CONTROL

BY	DATE
DATE	ISSUE
8-14-20	CITY & WATERSHED SUBMITTAL

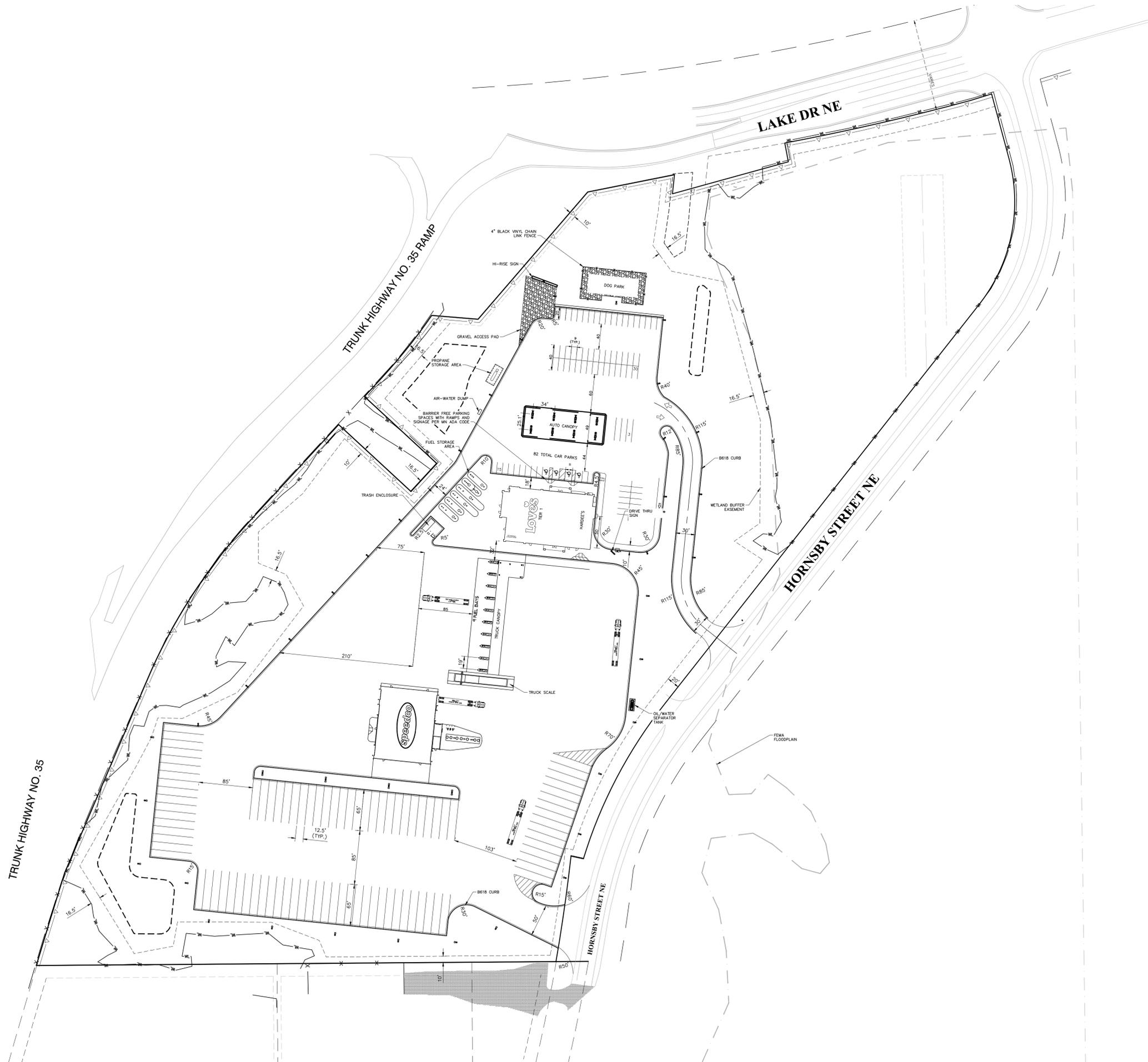
PROJECT TEAM DATA  
DESIGNED: AAA  
DRAWN: JDT  
PROJECT NO: 219-0174

**C2.4**

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**PRELIMINARY**  
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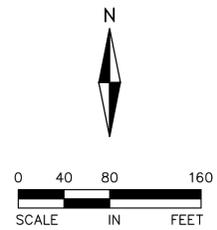
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**SITE LEGEND:**

- B618 CURB & GUTTER
- EXISTING CURB & GUTTER
- PROPOSED LIGHT FIXTURE
- PROPOSED PROPERTY LINE
- EASEMENTS

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**LOVE'S TRAVEL PLAZA**  
 1544 HORNSBY ST  
 COLUMBUS, MN  
**PUD SUBMITTAL**  
**OVERALL SITE PLAN**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA

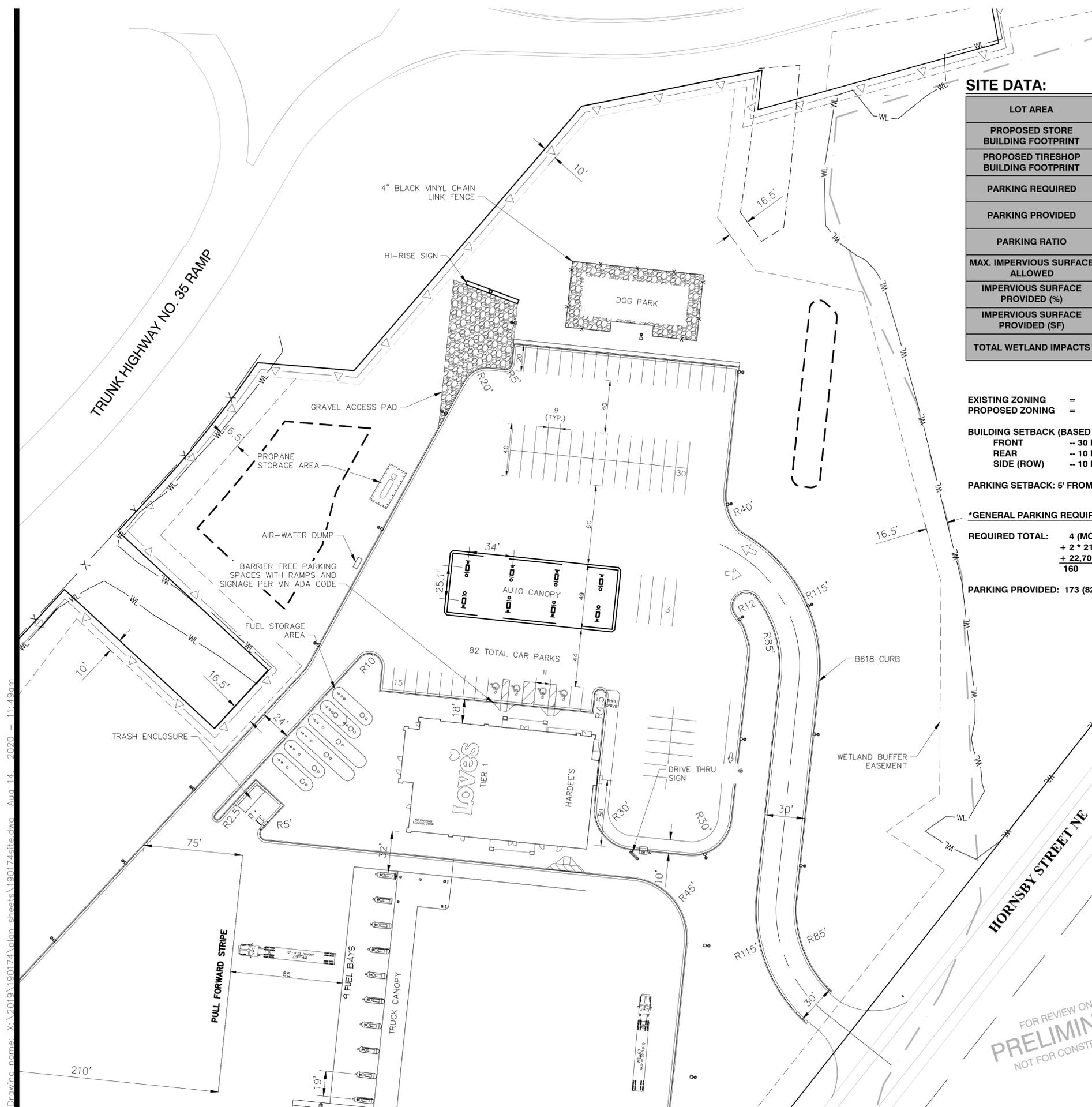
DANIEL SJOBLOM, PE  
 7-15-20 54821  
 Date License No.

**QUALITY ASSURANCE/CONTROL**

BY	DATE
8-14-20	CITY & WATERSHED SUBMITTAL

**PROJECT TEAM DATA**  
 DESIGNED: DMS  
 DRAWN: KDB  
 PROJECT NO: 219-0174

**C4.0**



**SITE DATA:**

LOT AREA	23.80 ACRE
PROPOSED STORE BUILDING FOOTPRINT	12,400 SF
PROPOSED TIRESHOP BUILDING FOOTPRINT	10,300 SF
PARKING REQUIRED	160
PARKING PROVIDED	173
PARKING RATIO	5.33/1,000 SF
MAX. IMPERVIOUS SURFACE ALLOWED	50%
IMPERVIOUS SURFACE PROVIDED (%)	47.24%
IMPERVIOUS SURFACE PROVIDED (SF)	489,642 SF
TOTAL WETLAND IMPACTS	.76 ACRE

EXISTING ZONING = CR -- COMMUNITY RETAIL  
 PROPOSED ZONING = PUD -- PLANNED UNIT DEVELOPMENT

BUILDING SETBACK (BASED ON CR ZONING)  
 FRONT -- 30 FT  
 REAR -- 10 FT  
 SIDE (ROW) -- 10 FT

PARKING SETBACK: 5' FROM PROPERTY LINE

**\*GENERAL PARKING REQUIREMENTS**

REQUIRED TOTAL: 4 (MOTOR FUEL STATION)  
 + 2 \* 21 (18 FUELING BAYS A + 3 SERVICE BAYS)  
 + 22,700 SF/200 SF (1 STALL PER 200 SF)  
 160

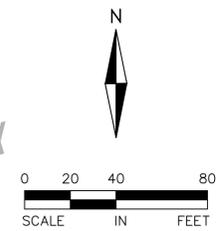
PARKING PROVIDED: 173 (82 AUTO, 91 TRUCK)

**NOTES:**

- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES, SUCH AS EXISTING GUTTER GRADES AT THE PROPOSED DRIVEWAYS, PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION & REMOVAL OF ALL EXISTING STRUCTURES WHICH INTERFERE WITH NEW WORK AS SHOWN.
- CONCRETE SIDEWALK AND CURB & GUTTER SHALL BE REMOVED TO NEAREST CONSTRUCTION JOINT OUTSIDE THE REMOVAL LIMITS.
- ALL DIMENSIONS, GRADES, EXISTING AND PROPOSED INFORMATION SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO INFORMATION SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- DIMENSIONS SHOWN ARE TO FACE OF CURB, CENTER OF STRUCTURE, EDGE OF SIDEWALK OR EXTERIOR OF BUILDING.
- ALL CONCRETE SIDEWALK ADJACENT TO BUILDING SHALL BE SEPARATED BY A 1/2" EXPANSION JOINT.
- PROTECT EXISTING CONCRETE SIDEWALKS DURING ALL PHASES OF CONSTRUCTION. CONTRACTOR TO REPLACE ANY CRACKED OR BROKEN PANELS CAUSED BY SITE CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL & DISPOSAL OF THE EXISTING BITUMINOUS. BITUMINOUS SHALL BE SAW CUT OR JACK HAMMERED FOR STRAIGHT EDGES. TACK SHALL BE USED ON BITUMINOUS EDGE PRIOR TO PATCHING. MATCH EXISTING GRADES.
- CONTRACTOR SHALL PROTECT ADJOINING PROPERTIES & STRUCTURES FROM HAZARDS ASSOCIATED WITH HIS CONSTRUCTION ACTIVITIES & SHALL BE RESPONSIBLE FOR ALL DAMAGES TO PROPERTIES & STRUCTURES THAT OCCUR AS A RESULT OF THESE ACTIVITIES.
- CONTRACTOR SHALL NOT IMPEDE EXISTING TRAFFIC CIRCULATION TO ADJACENT BUSINESSES. PROVIDE TRAFFIC CONTROL DURING CONSTRUCTION PER MNDOT STANDARDS.
- CONTRACTOR SHALL PERFORM SWEEPING ON PRIVATE PARKING AREAS AND PUBLIC STREETS AT LEAST ONCE A WEEK, ONCE A DAY IF NEEDED.
- CONTRACTOR SHALL BE HELD FULLY RESPONSIBLE TO PREVENT AND ELIMINATE ANY DUST NUISANCE OCCASIONED BY AND DURING CONSTRUCTION, UNTIL THE PROJECT HAS BEEN COMPLETED AND HANDED OVER.
- REFER TO ARCHITECTURAL DRAWINGS FOR CONCRETE STOOPS ADJACENT TO PROPOSED BUILDING.
- CONTINUOUS CONCRETE CURB & GUTTER WHICH CHANGES TYPE SHALL HAVE A FIVE FOOT TRANSITION.
- ALL CONCRETE CURB AND GUTTER ADJACENT TO CONCRETE WALK BE SEPARATED BY A 1/2 INCH EXPANSION JOINT.
- PARKING LOT STRIPING SHALL BE 4 INCH WHITE.
- ALL WORK WITHIN THE R.O.W. SHALL COMPLY WITH THE CITY ENGINEERING DESIGN STANDARDS.
- ALL CURB AND GUTTER TO BE CONCRETE B618 CURB UNLESS NOTED OTHERWISE.
- CONCRETE APRONS TO BE INSTALLED FOR ALL ACCESS DRIVES ONTO PUBLIC STREETS PER CITY STANDARDS.
- ALL CONCRETE PADS TO BE 3000 PSI AIR ENTRAINED 6" CONCRETE WITH #4 BARS @ 12" O.C. AND BROOM FINISHED.
- REFER TO PHOTOMETRIC PLAN FOR LOCATIONS, FOOTCANDLE PRINT OUT AND SPECIFICATIONS.

**SITE LEGEND:**

- B618 CURB & GUTTER
- - - - - COLORED CURB
- EXISTING CURB & GUTTER
- ⊙ PROPOSED LIGHT FIXTURE
- PROPOSED PROPERTY LINE
- - - - - EASEMENTS



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LOVES TRAVEL PLAZA

1544 HORNSBY ST  
 COLUMBUS, MN

PUD SUBMITTAL

SITE PLAN NORTH

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed PROFESSIONAL ENGINEER under the laws of the State of MINNESOTA

DANIEL SJOBLOM, PE  
 7-15-20 54821  
 Date License No.

**QUALITY ASSURANCE/CONTROL**

DATE	ISSUE
8-14-20	CITY & WATERSHED SUBMITTAL

**PROJECT TEAM DATA**  
 DESIGNED: DMS  
 DRAWN: KDB  
 PROJECT NO: 219-0174

**C5.0**

Drawing name: X:\2019\190174\plan\_sheets\190174site.dwg Aug 14, 2020 11:49am



- SITE LEGEND:**
- B618 CURB & GUTTER
  - EXISTING CURB & GUTTER
  - PROPOSED LIGHT FIXTURE
  - PROPOSED PROPERTY LINE
  - EASEMENTS



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**LOVES TRAVEL PLAZA**  
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 COLUMBUS, MN  
**PUD SUBMITTAL**  
**SITE PLAN SOUTH**

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DANIEL SJOBLOM, PE  
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 Date License No.

**QUALITY ASSURANCE/CONTROL**

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 DESIGNED: DMS  
 DRAWN: KDB  
 PROJECT NO: 219-0174

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