



**City of Columbus
NOTICE OF PUBLIC HEARING
ALTERNATIVE MEETING FORMAT
(Statutes Section 13D.021)
Conditional Use Permit**

Notice is hereby given that a Public Hearing will be held by the City of Columbus Planning Commission on Wednesday, May 20, 2020 at 7:00 p.m., or as soon thereafter as parties may be heard, and will be conducted by alternative means (teleconference) from remote locations to consider a request for a conditional use permit to operate a business consisting of the wholesale and distribution of dry goods (firewood, softener salt, stone, mulch, etc.) and the manufacturing and warehousing of colored mulch at 14045 Lake Dr NE. The meeting will occur under the conditions outlined in statutes section 13D.021. Members of the public interested in monitoring the meeting by telephone can find the phone number and passcode on the City website or contact the City Offices at 651.464.3120. The hearing shall continue until all evidence and testimony has been received.

Applicant: Stotko Speeding Construction (Greg Stotko)
Property Owners: Equipment Transport Leasing Inc
Property Location: 14045 Lake Dr NE, Columbus, Minnesota
Legal Description: PIN#33-32-22-11-0003

THAT PRT OF N1/2 OF NE1/4 OF SEC 33 TWP 32 RGE 22 LYG ELY OF CSAH NO 23, AKA LAKE DR, EX THAT PRT OF WLY 1142 FT OF SLY 1020 FT THEREOF, ALSO EX E1498 FT OF S 727 FT THEREOF, ALSO EX THAT PRT OF SD N1/2 DESC AS FOL: COM AT INTER OF C/L OF SD RD & N LINE OF SD N1/2, TH E ALG SD N LINE 728 FT TO POB, TH CONT E ALG SD N LINE 208.7 FT, TH S 208.7 FT, TH W 208.7 FT, TH N 208.7 FT TO POB, EX RD, SUBJ TO EASE OF REC ANOKA COUNTY, MINNESOTA

Elizabeth Mursko

Elizabeth Mursko, Zoning Administrator

Submitted to the Forest Lake Times on 05.01.20
Published in the Forest Lake Times on 05.07.20
Posted on 05.07.20

16319 Kettle River Boulevard, Columbus, MN 55025

651.464.3120 Twin Cities 651.464.5922 Fax

www.ColumbusMN.com

RECEIVED

APR 17 2020

Complete

RECEIVED

FEB 28 2020

City of Columbus

60 Day Deadline

Tuesday - April 28, 2020

INCOMPLETE on 3/12/20



16319 Kettle River Blvd. • Columbus, MN 55025
phone: (651) 464-3120
website: ColumbusMN.us

APPLICATION FOR CONSIDERATION OF CONDITIONAL USE PERMIT, INTERIM USE PERMIT
RE-ZONING, SITE PLAN REVIEW, VARIANCE

Receipt # 20916
\$200.00 App
\$1700.00
Brown

APPLICANT:

Name: STOTKO SPEEDLING CONSTRUCTION Phone: 651-480-0055 (Alt): 651-329-2021
Address: 1303 EDDY STREET Email: greg@stotkospeedling.com
City: HASTINGS State: MN Zip: 55033

OWNER: (If other than applicant)

Name: CST Companies, LLC Phone (work) 763-401-1406 (Alt) 651-900-5943
Address: 11717 205TH AVE NW Email Megan@cstcompanies.com
City: ELK RIVER State: MN Zip: 55330

Legal description of property: 14045 LAKE DR NE

Lot(s) _____ Block(s) _____ Additions(s) _____

Existing use of property: RESIDENTIAL Present zoning: C1

Action Requested: Please check (✓) Re-zoning _____ Site Plan Review _____ Variance _____

Conditional Use Permit Interim Use Permit _____ SSTS Administrative Variance _____

Other (fill in) _____

Description of and reason for request (attach additional information and requirements if necessary)

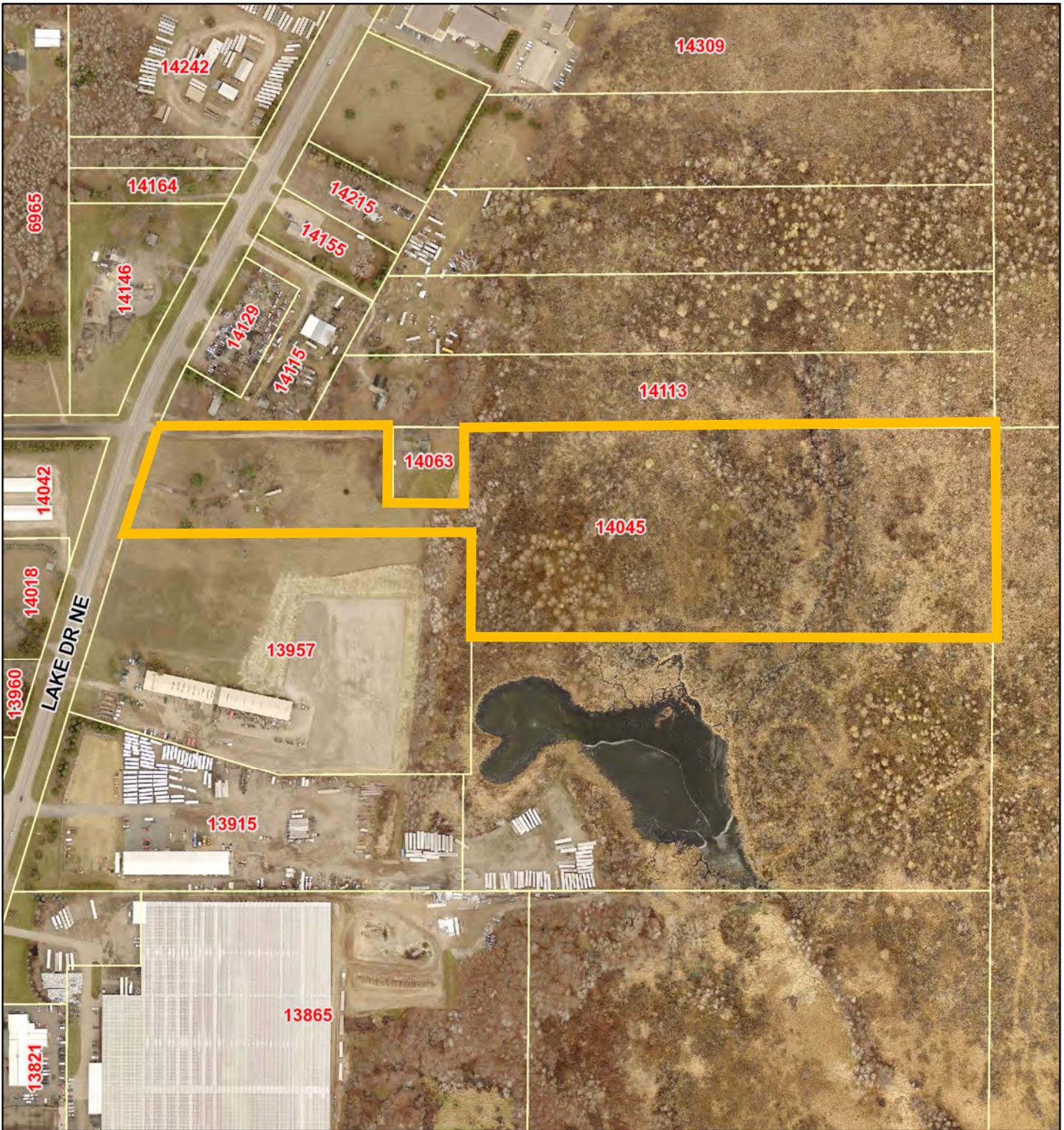
SEE ATTACHED DOCUMENTS

In signing this application, I hereby acknowledge that I have read and fully understand the applicable provisions of the Zoning and Subdivision Ordinances and current administrative procedures. I further acknowledge the explanation as outlined in the application procedures and hereby agree to pay all statements received from the City pertaining to additional application expense.

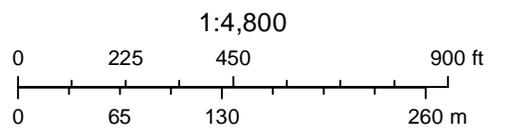
SIGNATURE OF APPLICANT: _____ DATE: 2/27/2020

SIGNATURE OF OWNER: _____ DATE: 2/27/2020

14045 Lake Dr.



May 14, 2020



CST COMPANIES, LLC

CST Distribution, LLC, operating since 1/2011, and CST Transportation, Inc., operating since 2/2012, are owned by Chad & Megan Toft. Chad has worked in the distribution and trucking industries since 1996 and he has been involved in the mulch industry since 1997. Megan has worked in the staffing/ HR industry since 1994. Opening CST Distribution & Transportation has been an easy progression for Chad with his history in the industries and he runs all operations. Megan's background in Human Resources and Finance/Accounting has made it good partnership. She runs all financial/purchasing/HR and customer service operations. 2019 combined Gross Revenues were \$18 million.

CST Distribution

CST Distribution, LLC is a Wholesale Distributor of Softener Salt, Mulch, Ice Melt, Firewood, Washer Fluid and Bottled Water and also a Contract Packager of primarily Mulch and Soils. Our distribution and manufacturing facilities are located in Elk River, MN.

We serve a diverse customer base, including roughly 2,500 C-Stores, grocery stores, quick lubes, manufacturing plants, car washes, lawn/garden stores and hardware stores. We currently serve Minnesota, Wisconsin, North Dakota, South Dakota, Iowa & Michigan. Some of our larger customers include: SuperAmerica, Holiday Station Stores, Menards, Patio Town, Hedberg, Cub Foods, Home Depot and HyVee.

- 12 FT Employees, 1 PT Mechanic, 4 FT office staff

CST Transportation

CST Transportation, Inc. is a Local/Regional Transport Trucking Company, specializing in forklift mounted flatbed trucks, with occasional over the road capabilities. The current location is in Elk River, MN. We currently serve the upper Midwest with occasional over the road to the East Coast. Some of our larger customers include: Cemstone (Twin City Concrete), Morton Salt, North American Salt, Menards, Home Depot, Progressive Rail, Timber Products, Forest Specialties, Patio Town & Pipe Fabricators.

- 4 FT Office Employees, 2 FT & 1 PT Mechanic, 1 FT Warehouse employee, 31 FT Drivers

Columbus location

CST Companies owns the Elk River location and leases back to CST Distribution & CST Transportation, this would be the same for the Columbus location.

Expansion plans:

1. Use of the property
 - a. Would be for a Retail & Contractor yard, similar in nature to Patio Town, D-Rock or Abrahamson Nursery (minus plants and trees). Homeowners and contractors can purchase rock, brick, block, mulch, softener salt, firewood, ice melt etc. Contractors & homeowners residing in Columbus could then drop off tree waste. The non-visible back yard would be used for collection and then ground to specifications and colored for sale.
 - b. Office would have 4 offices, showroom, bathroom and lunch area

- c. Warehouse would be for storing palletized product – Softener salt, ice melt, firewood
 - d. Shop – Parking equipment at night and maintenance during the day
 - e. Wash bay would be for washing equipment and trucks
 - f. Front yard would be an appealing display area for homeowners and contractors to look at items that can be purchased. Behind this would be bins for product to be bucketed in trailers once sold.
 - g. Back lot (behind building & bins) would be used for truck parking (5 units) and collection and coloring of material into mulch.
2. Hours of Operation: (this is a rough estimate)
 - a. M-F 7am to 5pm, with shorter hours in the winter
 - b. Sat 8am to 4pm (April – June), 8am to Noon (July -Oct)
 - c. Closed on Sundays
 3. Staffing: (wages \$45k-70K depending on position)
 - a. 1-2 Customer service employees
 - b. 1 full time yard operator
 - c. 1 full time mechanic
 - d. 1 full time warehouse operator
 - e. Megan Toft (owner) will office out of this location full time
 4. Equipment: Payloaders, forklifts and a coloring machine while working. Trucks and cars coming in and out of the property during business hours.
 5. Noise: Truck traffic, forklifts, payloaders and a coloring machine would be the noise that occurs outdoors. These would happen during hours of operation. There is extremely minimal to no impact on residents. Decibel testing was done in Elk River, during peak time and season, and was gauged around 87-89 decibels, during full operation. This is equivalent to loud singing. Normal conversation is 60-65 decibels and that can be done standing next to the coloring machine, bagging machine, payloaders etc. Restaurants normally clock at 90 decibels during peak hours.
 6. Odors: The main odor we have is a Cedar smell from fresh bulk Cedar. We have no composting mulch and so very limited smell beyond fresh wood smell, within 200 feet of pile. Coloring mulch is odorless.
 7. Screening: We will work with the City of Columbus and adjacent homeowner to come to a viable solution for all parties. Possibly planting a berm with pine trees etc...we are very open on this.
 8. Fueling: Double wall fuel storage tank inside of cement containment from Beaudry Oil. 2,000-3,000 gallons, diesel fuel only, will be capacity. Tank size will depend on what is available if city approval is received.
 9. Fire Lanes: See site plan for fire lanes. We would work with the City of Columbus Fire Chief to ensure proper and safe fire prevention.

Timeline

- Property: Purchase agreement is finished and will close upon final approval from City of Columbus
- Construction: Would commence as soon as possible upon final approval from City of Columbus

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- 12 FT Employees, 1 PT Mechanic, 4 FT office staff

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- 4 FT Office Employees, 2 FT & 1 PT Mechanic, 1 FT Warehouse employee, 31 FT Drivers

Exterior Building Materials

Office/Showroom

1. Base of building will be masonry stone architectural base per attachment.
2. There will brick piers above stone base as per plans. This will be Summit Alaskan White Brick.
3. The windows will be a black aluminum storefront with 1" clear insulated glass.
4. The Awnings will be a black aluminum louvered awning except at main entry it will be a covered louvered awning.
5. The wall panels between Brick will be 3" insulated metal embossed prefinished per attachment. The eave trim will be black and the roof will be a buff color metal panel roof per attached.

Warehouse/Wash Bay

1. Base of building will be masonry stone architectural base to match Office/Showroom on West and North walls.
2. The windows will be a black aluminum storefront with 1" clear insulated glass.
3. The wall panels will be 3" insulated metal embossed prefinished per attachment. The eave trim will be black and the roof will be a buff color metal panel roof per attached.
4. The wall panels will be 3" insulated metal embossed prefinished on East and South Elevation per plans

Columbus location

CST Companies owns the Elk River location and leases back to CST Distribution & CST Transportation, this would be the same for the Columbus location.

Expansion plans:

1. Use of the property
 - a. Would be for a Retail & Contractor yard, similar in nature to Patio Town, D-Rock or Abrahamson Nursery (minus plants and trees). Homeowners and contractors can purchase rock, retaining wall block, pavers, natural stone, mulch, softener salt, firewood, ice melt etc. Contractors & homeowners residing in Columbus could then drop off tree waste. The non-visible back yard would be used for collection and then ground to specifications and colored for sale.
 - b. Office would have 4 offices, showroom, bathroom and lunch area
 - c. Warehouse would be for storing palletized product – Softener salt, ice melt, firewood
 - d. Shop – Parking equipment at night and maintenance during the day
 - e. Wash bay would be for washing equipment and trucks
 - f. Front yard would be an appealing display area for homeowners and contractors to look at items that can be purchased. Behind this would be bins for product to be bucketed in trailers once sold.
 - a. Front area display would be a "finished display" like people would use for their landscaping their yards. This would include edgers, natural stone, retaining wall block, rock and mulch.
 - b. Behind the display area, other side of driveway, would be palletized pavers, retaining wall block, natural stone and bags of mulch. The highest height would be 5-6 feet per pallet. Quantities depend on product sales and starting out would be pretty small.
 - c. Behind the pallet displays would be material bins. We are making these bins out of cement blocks and bin size is dependent on material. Shortest is about 4 feet and mulch bins would be tallest at 8-10 feet. In the bins would be 5-6 mulch bins, 1 dirt bin and the rest aggregate (rock, sand, class 5).
 - g. Back lot (behind building & bins) would be used for truck parking (5 units) and collection and coloring of material into mulch.
 - a. Area South & East of the mulch/truck parking would be extra empty space (gravel) that may be utilized down the road as the operation would grow.
 - b. Coloring machine would be used to color ground mulch and placed in the bulk bins for sale.

- c. We will not be bagging mulch at this location, we have two automated robotic lines at our Elk River facility and would need a minimum of 40 acres to run a bagging operation.
 - d. Contractor and homeowners from Columbus could drop off tree waste and would be collected here. Once there is an adequate amount to grind, we would move the grinder from Elk River to process and then move back. This may happen a few times a year, depends on volume coming in. Duration of grinding would be a few times per year. Product would be ground into our walking floors and be hauled offsite to Elk River to be packaged and colored. A small amount would be left on this site to color for bulk sale in the spring and summer.
 - e. Piles can be anywhere from 15 – 18 feet high. Loaders only lift up to 15 feet so may get a foot or two on top of that.
 - h. Residential Screening
 - a. A 6' high privacy fence and evergreen tree screen wall will be constructed on the North Property line from entrance of Lake Drive to Resident to the East per the plans. The neighbor with shared access will be screened to The West and South of their property by existing berm, trees and added trees per plans.
2. Hours of Operation: (this is a rough estimate)
- a. M-F 7am to 7pm, April thru August, with shorter hours in the winter
 - b. Sat 8am to 5pm (April – June), 8am to Noon (July -Oct)
 - c. Closed on Sundays, may open down the road if sales increase
3. Staffing: (wages \$45k-70K depending on position)
- a. 1-2 Customer service employees
 - b. 1 full time yard operator
 - c. 1 full time mechanic
 - d. 1 full time warehouse operator
 - e. Megan Toft (owner) will office out of this location full time
4. Equipment: Payloaders, forklifts and a coloring machine while working. Trucks and cars coming in and out of the property during business hours.
- a. Estimated automobile traffic per day is pretty scarce in the winter, 3-4 employees only and then in the spring, summer and fall roughly 20-30 cars per day. This is an estimate based off anticipated sales.
 - b. Estimated truck traffic per day is roughly 10 -15 per day. This is an estimate based off anticipated sales.
 - c. Cheetah coloring machine utilizes water and colorant. The coloring machine is quieter than a lawnmower or motorcycle, it has two electric motors on it and that is it for noise. (See attached MSDS sheets for Colorant specs, safe to drink) Ground mulch is loaded into the hopper and inside the hopper water and colorant sprays on the mulch and then it comes out on a conveyor. All liquid is soaked into the wood fiber and there isn't runoff. If there is runoff we would be throwing money in the garbage. So, no waste or runoff of colorant.

- a. We don't have plans, as of right now, to put a coloring machine on site but are putting it in our plans in case we may need to down the road as business grows. For now all mulch will be colored in Elk River and trucked to Columbus.
5. Noise: Truck traffic, forklifts, payloaders and a coloring machine would be the noise that occurs outdoors. These would happen during hours of operation. There is extremely minimal to no impact on residents. Decibel testing was done in Elk River, during peak time and season, and was gauged around 87-89 decibels, during full operation. This is equivalent to loud singing. Normal conversation is 60-65 decibels and that can be done standing next to the coloring machine, payloader etc. Restaurants normally clock at 90 decibels during peak hours.
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Timeline

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Anoka County
TRANSPORTATION DIVISION
Highway

RECEIVED

MAR 27 2020

City of Columbus

Elizabeth Mursko
City of Columbus
16319 Kettle River Blvd.
Forest Lake, MN 55025

March 23, 2020

Re: Site Plan - 14045 Lake Drive

Dear Elizabeth,

We have reviewed the site plan for the proposed commercial development to be located east of CSAH 23 (Lake Drive) at 14045 Lake Drive within the City of Columbus, and I offer the following comments:

The existing right of way along CSAH 23 should be adequate for future reconstruction purposes (120ft right of way corridor). Access for the site is proposed directly opposite of 141st Avenue NE, which is consistent with county standards and acceptable to this department. Any other existing access points or field entrances onto CSAH 23 within the boundaries of this site must be removed as a part of this development and the ditch section restored to match the adjacent existing ditch depth, slope and grade. Construction of a NB CSAH 23 right turn lane for the new site access will be required to be completed in conjunction with this development. Please note that private signs or plantings are permitted within the county right of way, and care should be exercised when locating private signs, plantings, berms, etc. outside of the county right of way so as not to create sight distance obstructions for this section of CSAH 23.

The ACHD Engineering Plan Review process will apply to this development. The NB CSAH 23 right turn lane construction plans and drainage calculations for the development must be submitted along with a grading and erosion control plan the delineates the drainage areas for this development. The post-developed rate of runoff must not exceed the predeveloped rate of runoff for the 10-year, critical design storm. Contact Michelle Pritchard, Engineer I, at 763.324.3162 or via e-mail at Michelle.Pritchard@co.anoka.mn.us if questions and to coordinate the ACHD Engineering Plan Review process. Please submit the drainage calculations, NB CSAH 23 right turn lane construction plans, grading and erosion control plans, ACHD Design Requirements Checklist for County Highway Modifications (copy available via our website), and the applicable ACHD Engineering Plan Review fee (fee estimated at \$350.00) to Ms. Pritchard for her review and approval.

Following completion of the ACHD Engineering Plan Review process outlined above, the ACHD Permit Process can begin by the contractor(s) completing the work within the county right of way (ROW permit fee = \$150.00; Access permit fee = \$250.00). License Permit Bonding, methods of construction, work zone traffic control, restoration requirements and follow-up inspections are typical elements of the permitting process. Contact Susan Burgmeier, Traffic Engineering Technician I, at 763.324.3142 or via e-mail at Susan.Burgmeier@co.anoka.mn.us for further information regarding the ACHD Permit process.

Our Passion Is Your Safe Way Home

1440 Bunker Lake Boulevard N.W. ▲ Andover, MN 55304-4005
Office: 763-324-3100 ▲ Fax: 763-324-3020 ▲ www.anokacounty.us/highway

Affirmative Action 14 Equal Opportunity Employer

Thank you for the opportunity to comment. Feel free to contact me if you have any questions.

Sincerely,



Jane K. Rose
Traffic Engineering Manager

xc: File – CSAH 23/Plats + Developments/2020
Jerry Auge, Assistant Anoka County Engineer
Michelle Pritchard, Engineer I
Sean Thiel, Graduate Engineer
Susan Burgmeier, Traffic Engineering Technician
Chuck Gitzen, County Surveyor

From: [Zach Schuster](#)
To: megan@cstcompanies.com; [Nicholas Adam](#);
cc: [Kate MacDonald](#); [Greg Bowles](#); [Kelsey White](#); [Patrick Hughes](#);
agrace@ricecreek.org;
Subject: RCWD Permit Application 20-015 - Toft Property
Date: Friday, April 17, 2020 4:01:01 PM
Attachments: [ATT00001.htm](#)
[hei_d562a228-8e53-424d-8c69-43b1a222b74e.png](#)

Dear RCWD Permit Applicant:

This email is in regard to RCWD permit application 20-015 – Toft Property. We have reviewed the information you provided regarding this application and noted that insufficient information has been submitted to assess compliance with District Rules.

Your application is considered insufficient for Board consideration until additional information is submitted, addressing the comments below:

1. Per email from RCWD dated 1-30-2020, applicant must submit an application for a WCA wetland boundary decision and comply with WCA requirements, as applicable.
2. Per Rule C.4(a), the runoff from pervious and impervious areas within the model shall be modeled separately. This may be done in HydroCAD by checking the “Calculate separate Pervious/Impervious runoff” option found under the Advanced Tab under Calculation Settings.
3. Per Rule C.4(b), in determining Curve Numbers to model runoff in the post-development condition, the Hydrologic Soil Group (HSG) of areas within construction limits is to be shifted down one classification for HSG B (Curve Number 74) to account for the impacts of grading on soil structure unless the project specifications incorporate soil amendments in accordance with District Soil Amendment Guidelines.
4. Applicant must address the on-site impact of discharge from the 27” storm sewer (northwest corner of the site) on the 100-year elevation and drawdown time of the proposed infiltration basin.
5. Either submit proof of ownership by CST or submit a signed application by the landowner.

Revise hydraulic calculation and plans as necessary to address comments above and confirm compliance with all RCWD rules, including the rate control requirements of Rule C.7 and the free board requirement of Rule C.9(g).

The meeting date is dependent on the submittal of wetland delineation report and WCA timeline. A follow up email will be sent upon receipt.

Please note that due to COVID-19, all HEI staff are working remotely during normal business hours. If you have any questions, please follow up via email and I will contact you as soon as possible.

From: [Zach Schuster](#)
To: [Nicholas Adam](#); [Patrick Hughes](#); agrace@ricecreek.org;
cc: [Kate MacDonald](#);
Subject: RE: RCWD Permit 20-015 - Toft Property
Date: Wednesday, May 13, 2020 10:05:19 AM
Attachments: [image001.png](#)
[hei_d562a228-8e53-424d-8c69-43b1a222b74e.png](#)

Hi Nick,

Thank you for the follow-up. I have taken an initial look at the resubmittal and am hoping to do the full review soon. I will reach out if I have any additional questions or need more info.

The permit application cannot be considered complete until the completion of the WCA process. The wetland boundary comment period closes on May 27, so the permit application cannot be considered until the June 10th board meeting at the earliest.

Thanks,

Zach

Zach Schuster
Engineer II
Houston Engineering, Inc.
O 763.493.4522 | D 763.321.3889



7550 Meridian Circle North, Suite 120
Maple Grove, MN • 55369
www.houstoneng.com
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From: Nicholas Adam <NAdam@rehder.com>
Sent: Tuesday, May 12, 2020 8:06 AM

From: [Michelle A. Pritchard](#)
To: [Nicholas Adam](#);
Subject: RE: 14045 Lake Dr NE
Date: Tuesday, May 12, 2020 11:01:07 AM
Attachments: [image002.png](#)

That's great, thanks Nick! You are the first to use that, I'm glad it worked properly.

I expect to receive comments by the end of the week, I will be following up with everyone if I don't though.

Michelle Pritchard

Design Engineer

Anoka County Highway Department

Direct – 763.324.3162

Office – 763.324.3100

Fax – 763.324.3020

Michelle.Pritchard@co.anoka.mn.us

From: Nicholas Adam <NAdam@rehder.com>
Sent: Tuesday, May 12, 2020 10:58 AM
To: Michelle A. Pritchard <Michelle.Pritchard@co.anoka.mn.us>
Subject: RE: 14045 Lake Dr NE

Hi Michelle,

The fee has been paid (see receipt below). Do you know what the status is for the review?

Thank you.



Payment Receipt	
Your payment has been accepted	
Confirmation #	528021416
Payment Type	Highway Plan Review
Account #	Nicholas Adam
Comment	Right Turn Lane Plan Review
Status	ACCEPTED
Payment Date	May 12, 2020 10:55:29 AM
Payment Method	Visa *****7446
Payment Amount	\$250.00

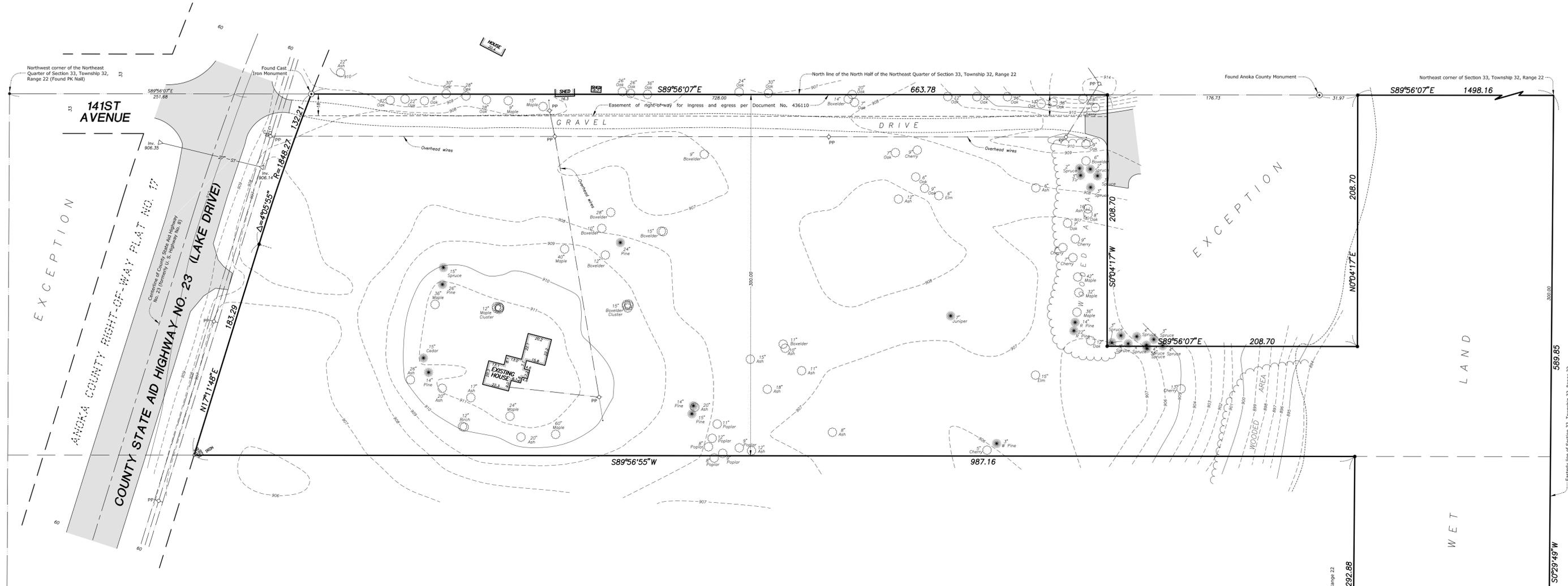
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Nick Adam, P.E.

Boundary and Topographic Survey for: CST COMPANIES, LLC

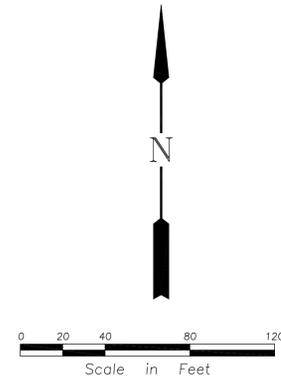


NOTES

- * Bearings shown are based on the Anoka County Coordinate System.
- * Utilities shown are from information furnished utility located in response to Gopher State One Call Ticket No. 200420229.
- * Contact Gopher State One Call for utility locations before any construction shall begin. Phone 651-454-0002.
- * Area: 1,118,885 square feet (25.69 acres).
- * Zoning: C/I (Commercial/Industrial).

LEGEND

- Iron Monument Found
- Iron Monument Set
- ST— Storm Sewer
- ▷ Flared End
- Inv. Invert Elevation
- PP ○ Power Pole
- Communications Pedestal
- Bituminous Surface
- Guy Wire
- GM ■ Gas Meter



PROPERTY DESCRIPTION

The Northerly 300 feet of the North Half of the Northeast Quarter of Section 33, Township 32 North, Range 22 West, Anoka County, Minnesota,
 And also, that tract of land described as follows:
 Commencing at the Northeast corner of said Section 33, thence Southerly along the East line of said Section 33, 300 feet to the point of beginning of the parcel of land to be described; thence Southerly along the Easterly line of said Section 33 to the Southeast corner of said North Half of the Northeast Quarter; thence Westerly along the Southerly line of said North Half of the Northeast Quarter, 1498 feet; thence Northerly and parallel to the East line of said Section 33 to a point 300 feet Southerly of the North line of said Section 33, thence Easterly to the point of beginning;
 Excepting and reserving therefrom that part of the above described tracts lying Westerly of U.S. Highway No. 8, as the same is now established over and across the above described tracts;
 And also excepting and reserving therefrom the following described tract: Commencing at a point of intersection of the North line of the above tract, and the centerline of U.S. Highway No. 8 as the same is now established over and across the above described tract of land; thence East along the North line of said North Half of the Northeast Quarter a distance of 728 feet to the point of beginning of the parcel of land to be described; thence continuing East along the North line a distance of 208.7 feet; thence South a distance of 208.7 feet; thence West a distance of 208.7 feet; thence North a distance of 208.7 feet to the point of beginning;
 And also excepting therefrom the following described tract: The East 1498.00 feet of the South 727.00 feet of the North Half of the Northeast Quarter of Section 33, Township 32, Range 22, Anoka County, Minnesota.
 Abstract.

I hereby certify that this survey was prepared by me or under my direction and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 30th day of January, 2020

REHDER & ASSOCIATES, INC.

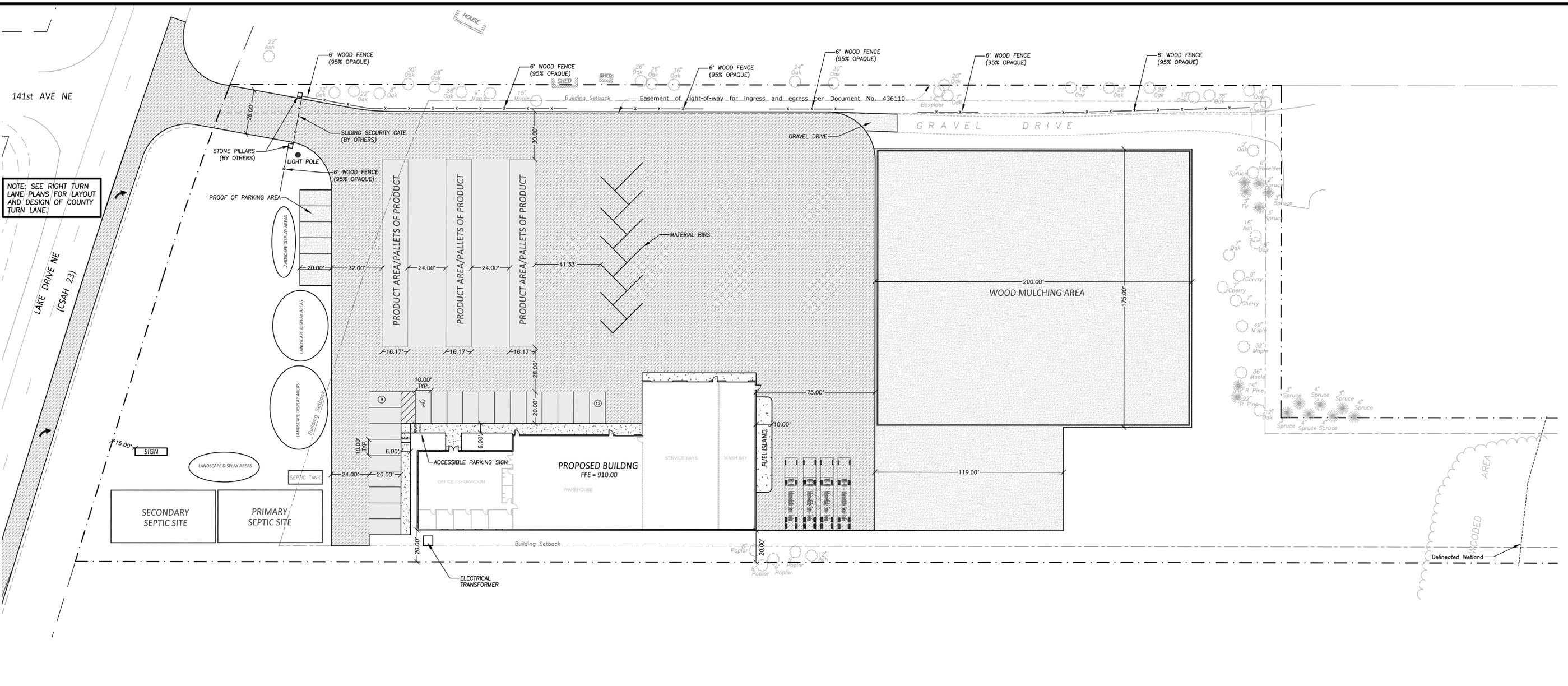
Gary C. Huber
 Gary C. Huber, Land Surveyor
 Minnesota License No. 22036

Rehder and Associates, Inc.

CIVIL ENGINEERS AND LAND SURVEYORS

3440 Federal Drive • Suite 110 • Eagan, Minnesota • Phone (651) 452-5051

JOB: 204-1878.015



NOTE: SEE RIGHT TURN LANE PLANS FOR LAYOUT AND DESIGN OF COUNTY TURN LANE.

LEGEND

- PROPOSED CONCRETE
- PROPOSED LIGHT DUTY BITUMINOUS
- PROPOSED HEAVY DUTY BITUMINOUS
- PROPOSED GRAVEL
- BOUNDARY/ROW/BLOCK LINE
- EASEMENT
- BUILDING/PARKING SETBACK LINE

SITE SUMMARY

SITE AREA = 25.69 ACRES
 DISTURBED AREA = 4.4 ACRES
 EXISTING IMPERVIOUS AREA = 0.21 ACRES
 POST CONSTRUCTION IMPERVIOUS AREA = 3.31 ACRES

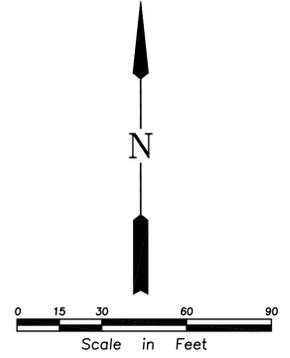
PARKING STALLS REQUIRED

	SQ. FT.		STALLS
OFFICE	3,000	3,000 X 1 STALL/200 SQ. FT.	= 15
BALANCE	11,688	11,688 X 1 STALL/2,000 SQ. FT.	= 6
TOTAL			21

PARKING STALLS PROVIDED

STANDARD STALLS	ACCESSIBLE STALLS	TOTAL
20	1	21

TOTAL DOES NOT INCLUDE 6 PROOF OF PARKING STALLS



3440 Belmont Drive, Suite 110
 Minneapolis, MN 55412
 Telephone 651-452-5051
 www.rehder.com



I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Name: Nicholas P. Adam Date: 4-20-20
 Reg. No.: 4385B

ISSUED	DATE	REVISION
CITY SUBMITTAL	2-28-20	
CITY COMMENTS	4-14-20	
ADDRESS ROW COMMENTS	4-20-20	

SITE DIMENSION PLAN
 TOFT PROPERTY
 CITY OF COLUMBUS

SHEET NUMBER

C2

GOPHER STATE ONE CALL

CALL 48 HOURS BEFORE YOU DIG
TWIN CITY AREA 651-454-0002
MN. TOLL FREE 1-800-252-1166

3440 Pleasant Drive, Suite 110
Twin City, MN 55112
Telephone 651-452-9081
www.rehder.com



I hereby certify that this plan was prepared by
me or a duly Licensed Professional Engineer under
the laws of the State of Minnesota.

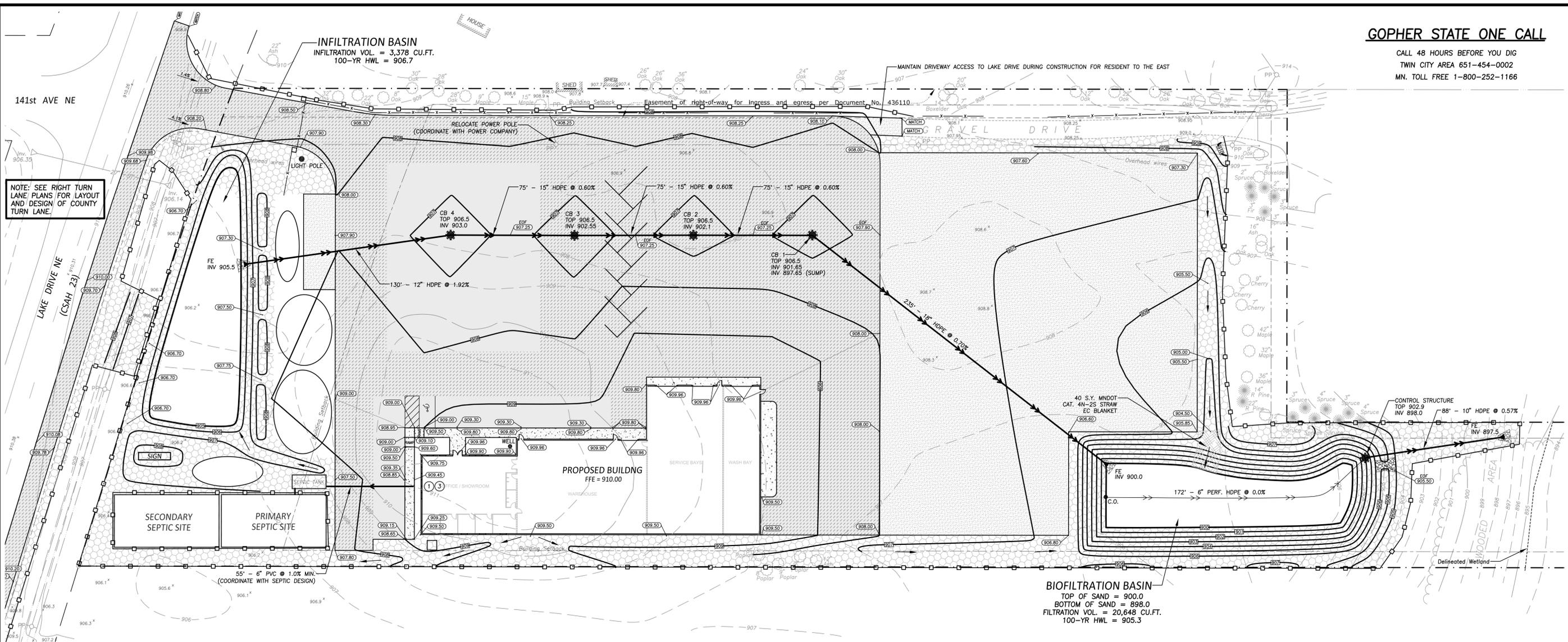
2-28-20	ISSUED
4-14-20	CITY SUBMITTAL
4-20-20	ADDRESS CITY COMMENTS
	ADDRESS ROAD COMMENTS

Name: Nicholas P. Adam Reg. No. 43856 Date: 4-20-20

GRADING, DRAINAGE, EROSION CONTROL
& UTILITY PLAN
TOFT PROPERTY
CITY OF COLUMBUS

SHEET NUMBER

C3



GRADING NOTES

- 1 - All elevations shown are to final surfaces.
- 2 - Contractor is responsible for obtaining a National Pollutant Discharge Elimination System (NPDES) General Storm Water Permit for Construction Activity before construction begins.

EROSION CONTROL NOTES

- 1 - Contractor is responsible for all notifications and inspections required by General Storm Water Permit.
- 2 - All erosion control measures shown shall be installed prior to grading operations and maintained until all areas disturbed have been restored. Silt fence and rock construction entrance shall be inspected by the City Engineering Department prior to starting site grading. 24-hour advance notice for inspections is required.
- 3 - Sweep paved public streets as necessary where construction sediment has been deposited.
- 4 - Each area disturbed by construction shall be restored per the specifications within 14 days after the construction activity in that portion of the site has temporarily or permanently ceased.
- 5 - Temporary soil stockpiles must have silt fence around them and cannot be placed in surface waters, including storm water conveyances such as curb and gutter systems, or conduits and ditches.
- 6 - Excess concrete/water from concrete trucks shall be disposed of in portable washout concrete basin or disposed of in a contained area.
- 7 - Spring/summer temporary turf establishment: seed shall be MNDOT Mixture 21-111 @ 100 lbs/acre and mulch shall be MNDOT Type 1. Winter temporary turf establishment: seed shall be MNDOT Mixture 21-112 @ 100 lbs/acre and mulch shall be MNDOT Type 1.

INSPECTION AND MAINTENANCE

- The site must be inspected once every seven (7) days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours.
- All inspections and maintenance conducted must be recorded in writing and records retained with the SWPPP.
- Areas of the site that have undergone final stabilization, may have the inspection of these areas reduced to once per month.
- All silt fence must be repaired, replaced, or supplemented within 24 hours when they become nonfunctional or the sediment reaches 1/3 of the height of the fence.
- Surface waters and conveyance systems must be inspected for evidence of sediment being deposited. Removal and stabilization must take place within seven (7) days of discovery unless precluded by legal, regulatory, or physical access constraints.
- Construction site vehicle exit locations must have sediment removed from off-site paved surfaces within 24 hours of discovery.

UTILITY NOTES

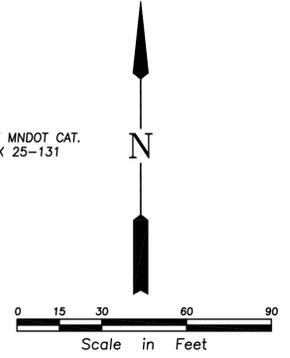
- 1 - All sewer services to extend to a point 5' from proposed building.
- 2 - Bring water main into proposed building and cap at the floor.
- 3 - Verify all service locations and inverts with mechanical engineer before construction.
- 4 - All watermain to have a minimum of 7.5' of cover.
- 5 - Well and septic system design by others.

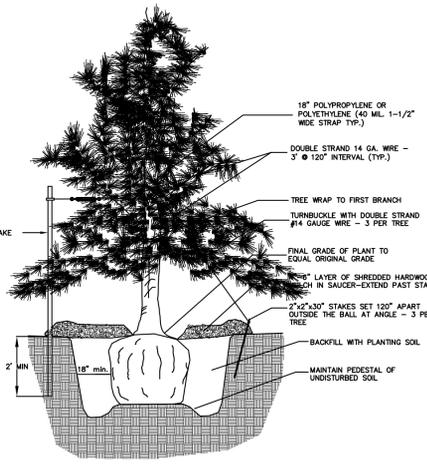
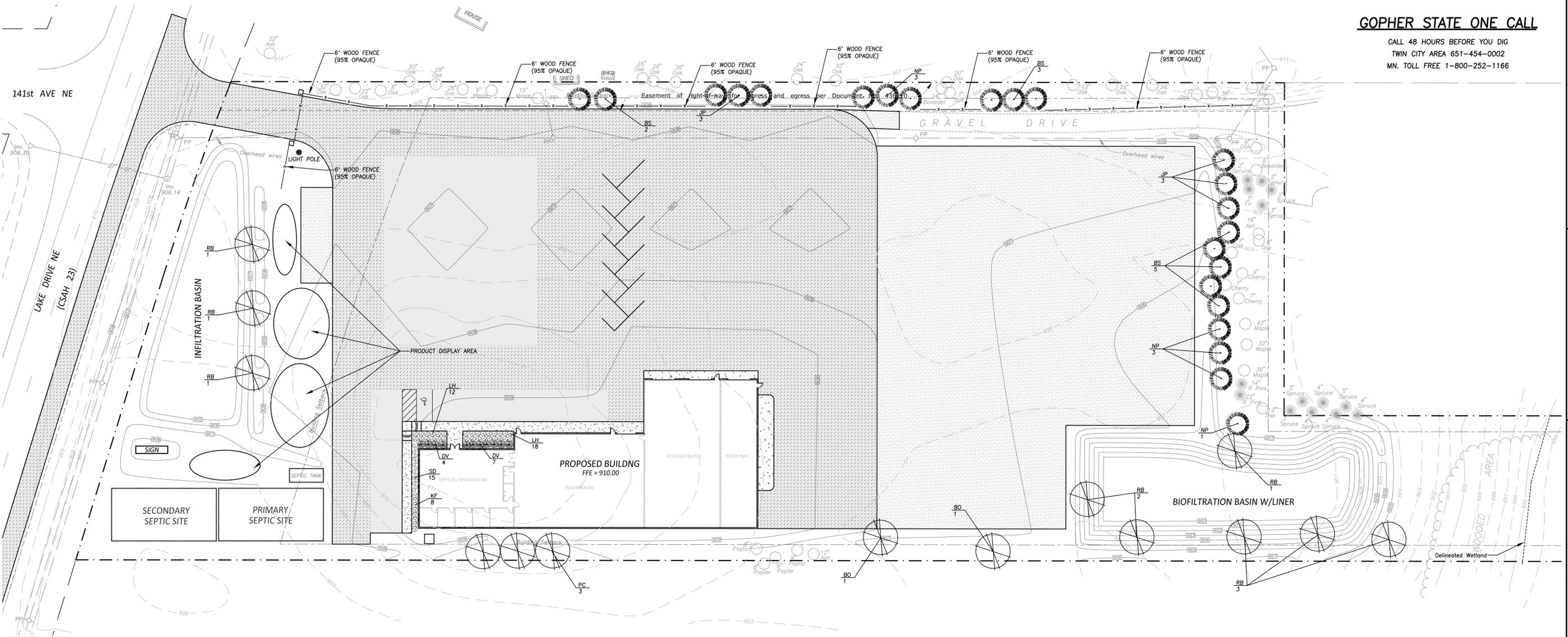
CATCH BASIN SCHEDULE

STRUCTURE NO.	BARREL SIZE	NEENAH CASTING NO.
CB 1	48"	R-2573-1C
CB 2	48"	R-2573-1C
CB 3	48"	R-2573-1C
CB 3	48"	R-2573-1C

LEGEND

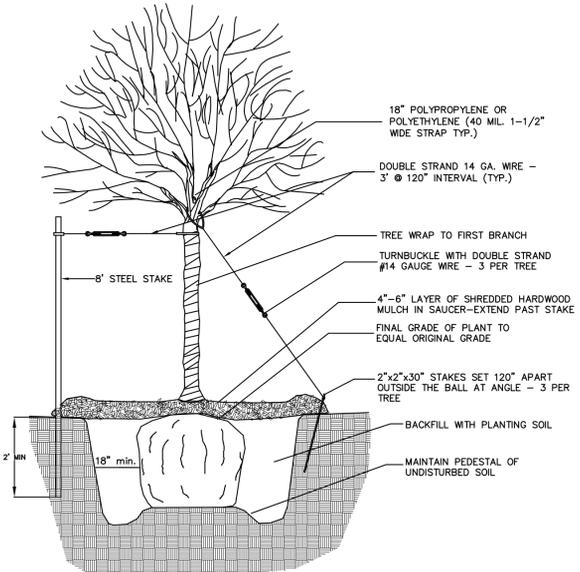
- PROPOSED CATCH BASIN/MANHOLE
- PROPOSED STORM SEWER
- ▨ PROPOSED CONCRETE
- ▩ PROPOSED BITUMINOUS
- ▨ PROPOSED HEAVY DUTY BITUMINOUS
- PROPOSED CONTOUR
- PROPOSED ELEVATION
- SILT FENCE
- INLET PROTECTION DEVICE
- ▨ PROPOSED EROSION CONTROL BLANKET MNDOT CAT. 3P - 2S STRAW AND MNDOT SEED MIX 25-131
- BOUNDARY/ROW/BLOCK LINE
- EASEMENT
- BUILDING/PARKING SETBACK LINE
- DRAINAGE ARROW
- ST— EXISTING STORM SEWER
- 980--- EXISTING CONTOUR
- x 995.50 EXISTING ELEVATION





NOTES:
TWO ALTERNATE METHODS OF TREE STAKING ARE SHOWN.
IT IS THE CONTRACTOR'S OPTION TO STAKE TREES; HOWEVER, THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD.
SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.
CONIFER TO HAVE SHREDED HARDWOOD MULCH UNLESS OTHERWISE NOTED.
NO MULCH TO BE IN CONTACT WITH TRUNK.

CONIFEROUS TREE PLANTING DETAIL



NOTES:
TWO ALTERNATE METHODS OF TREE STAKING ARE SHOWN.
IT IS THE CONTRACTOR'S OPTION TO STAKE TREES; HOWEVER, THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTAINING TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD.
SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING.

DECIDUOUS TREE PLANTING DETAIL

PLANT AND TREE LIST

PLANTS				
SYMBOL	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE/ROOT
DV	11	Viburnum opulus 'Nanum'	Dwarf European Viburnum	#2 Pot
LH	30	Hosta 'Blueberry Muffin'	Large Hosta	#1 Pot
KF	8	Calamagrostis acutiflora	Karl Forester	#2 Pot
SD	15	Hemerocallis 'Stella de Oro'	Stella de Oro Daylily	#1 Pot
TREES				
SYMBOL	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE/ROOT
RB	9	Betula nigra	River Birch	2 - 1/2" B & B
PC	3	Malus 'Prairifire'	Prairifire Flowering Crabapple	2 - 1/2" B & B
BO	2	Quercus macrocarpa	Bur oak	2 - 1/2" B & B
NP	7	Pinus resinosa	Norway Pine	6" B & B
BS	10	Picea glauca 'Densata'	Black Hills Spruce	6" B & B
JP	6	Pinus banksiana	Jack Pine	6" B & B

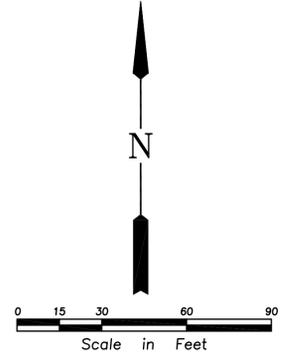
Permanent turf establishment: seed shall be MNDOT Mixture 25-131 @ 220 lbs/acre and fertilizer shall be 10-10-10 (NPK) commercial grade.

TREE REQUIREMENTS:

SITE DEVELOPMENT = 5.0 ACRES
TREE REQUIREMENT = 1 TREE/6,000 SF OF DEVELOPMENT
5.0 ACRES X 43,560 SF/ACRE = 217,800 SF
217,800 SF / 6,000 SF = 36.3 TREES (37 TREES)

PLANTING SYMBOL LEGEND

- DECIDUOUS TREE
- CONIFEROUS TREE
- DECIDUOUS SHRUB
- CONIFEROUS SHRUB
- PERENNIAL/GRASS



ISSUED	2-28-20
CITY SUBMITTAL	4-14-20
ADDRESS CITY COMMENTS	4-20-20
ADDRESS ROAD COMMENTS	

LANDSCAPE PLAN
TOFT PROPERTY
CITY OF COLUMBUS

SHEET NUMBER

L1

GOPHER STATE ONE CALL

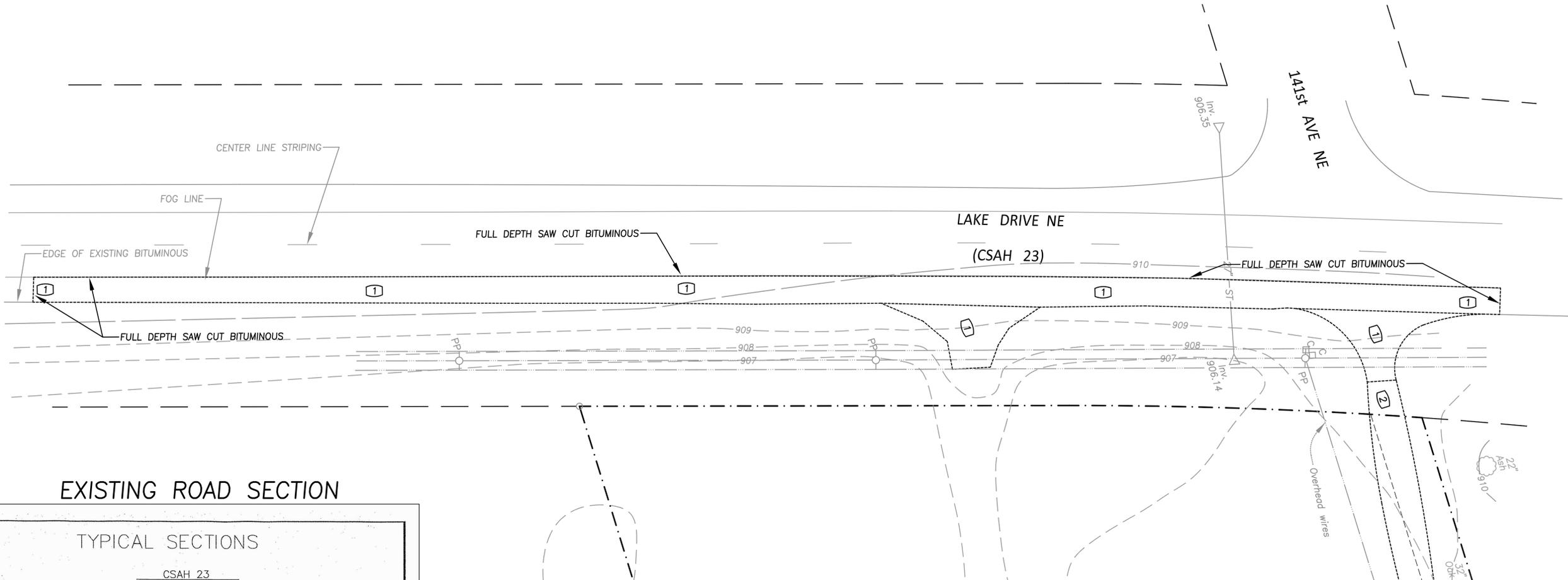
CALL 48 HOURS BEFORE YOU DIG
TWIN CITY AREA 651-454-0002
MN. TOLL FREE 1-800-252-1166

REHDER & ASSOCIATES, INC.
Civil Engineers & Land Surveyors
340 Pleasant Drive, Suite 110
Waseca, MN 56093
Telephone 651-452-5051
www.rehder.com

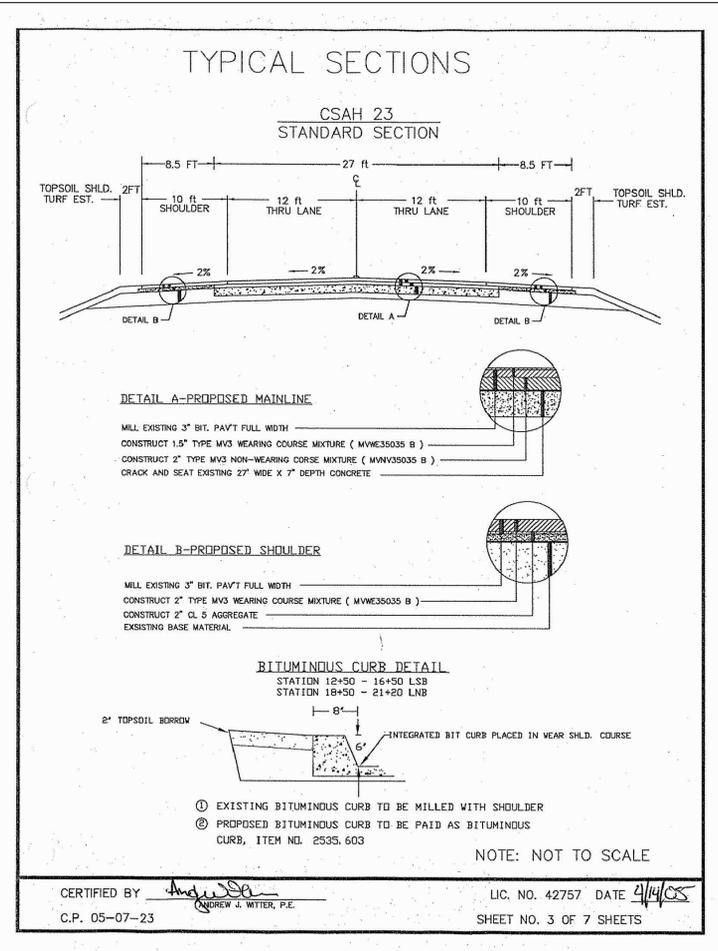
I hereby certify that this plan was prepared by me or a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Name: Michael P. Adam Date: 4-14-20
Reg. No. 4385B

Issued	2-28-20
CITY SUBMITTAL	4-14-20
ADDRESS CITY COMMENTS	

SITE DEMOLITION PLAN
TOFT PROPERTY - RIGHT TURN LANE
CITY OF COLUMBUS
SHEET NUMBER
C1

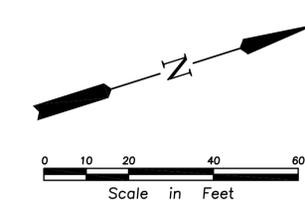


EXISTING ROAD SECTION

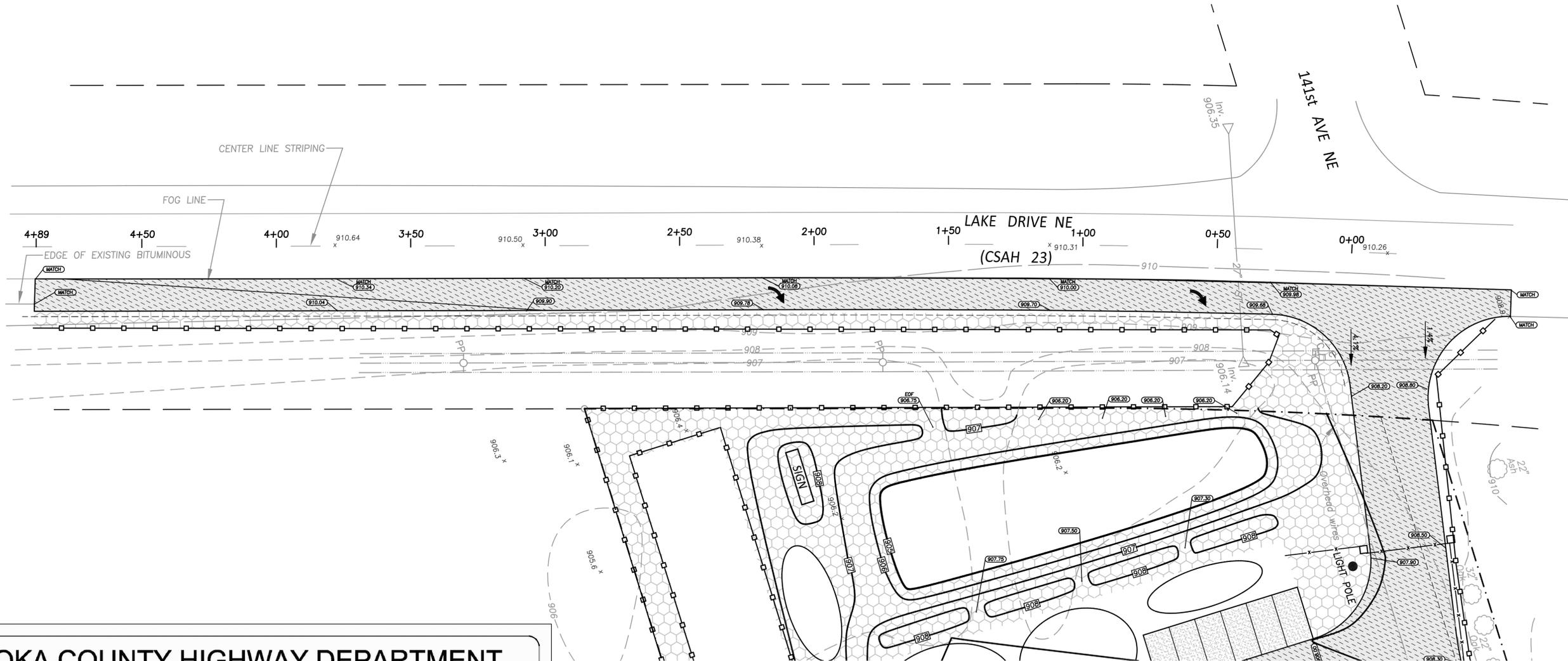


DEMOLITION NOTES
① - Remove bituminous pavement.
② - Remove gravel pavement.

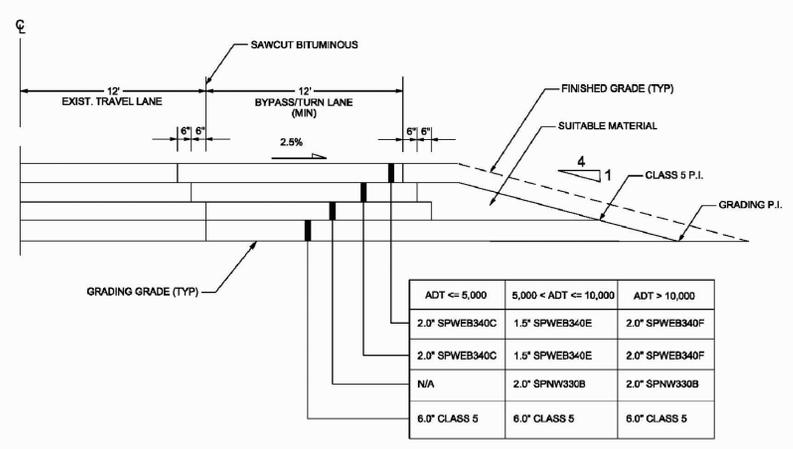
LEGEND
--- BOUNDARY/ROW/BLOCK LINE
- - - EASEMENT
-980- EXISTING CONTOUR
x 995.50 EXISTING ELEVATION



2-28-20	Issued
4-14-20	CITY SUBMITTAL
	ADDRESS CITY COMMENTS



ANOKA COUNTY HIGHWAY DEPARTMENT

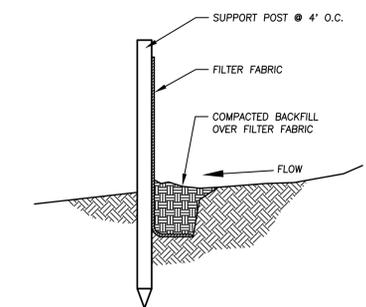


	ADT <= 5,000	5,000 < ADT <= 10,000	ADT > 10,000
2.0" SPWEB340C	1.5" SPWEB340E	2.0" SPWEB340F	
2.0" SPWEB340C	1.5" SPWEB340E	2.0" SPWEB340F	
N/A	2.0" SPNV330B	2.0" SPNV330B	
6.0" CLASS 5	6.0" CLASS 5	6.0" CLASS 5	

MIX DESIGN
(2360 SPEC)

ALL DISTURBED SOIL MUST BE SEEDED, MULCHED, AND DISK ANCHORED IN ACCORDANCE WITH MNDOT STANDARD SPECIFICATIONS. RAPID-DEGRADABLE STRAW BLANKET SHALL BE USED IN AREAS OF HIGH EROSION.

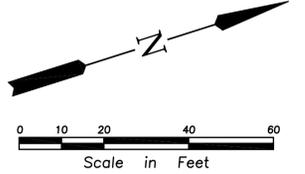
NOT TO SCALE
DETAIL A
September 2019



1
C3
SILT FENCE
NO SCALE

LEGEND

- PROPOSED CATCH BASIN/MANHOLE
- PROPOSED STORM SEWER
- ▨ PROPOSED CONCRETE
- ▩ PROPOSED BITUMINOUS
- PROPOSED CONTOUR
- PROPOSED ELEVATION
- SILT FENCE
- INLET PROTECTION DEVICE
- ▨ PROPOSED EROSION CONTROL BLANKET MNDOT CAT. 3P - 2S STRAW AND MNDOT SEED MIX 25-141
- BOUNDARY/ROW/BLOCK LINE
- - - EASEMENT
- - - BUILDING/PARKING SETBACK LINE
- DRAINAGE ARROW
- ST— EXISTING STORM SEWER
- 980— EXISTING CONTOUR
- x 995.50 EXISTING ELEVATION

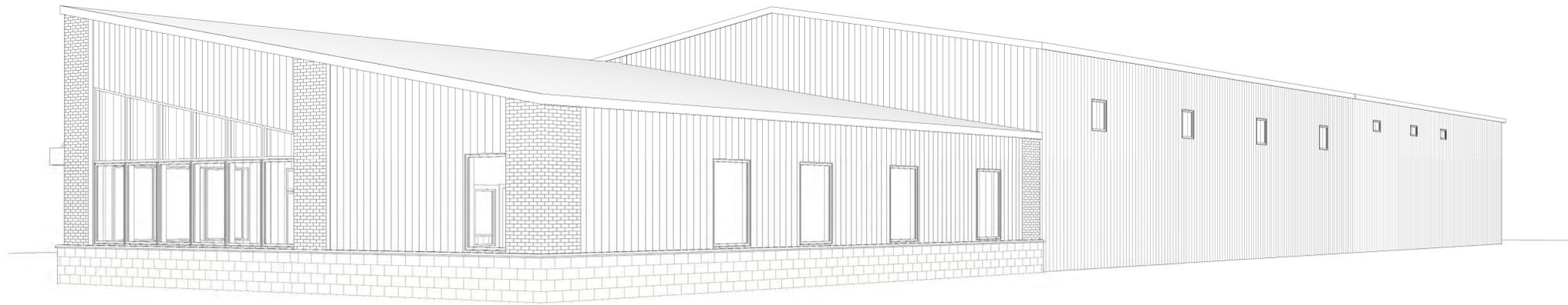


Base and Bituminous Construction Detail



① 3D View 1 Copy 1

CST Companies



② 3D View 4 Copy 1

David L. Harris
Architect



545 TUTTLE DR. HASTINGS, MN. 55033
dlh.architect@yahoo.com

THIS DRAWING, BEING AN INSTRUMENT OF SERVICE, IS AND REMAINS THE PROPERTY OF DAVID L. HARRIS, ARCHITECT. I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA

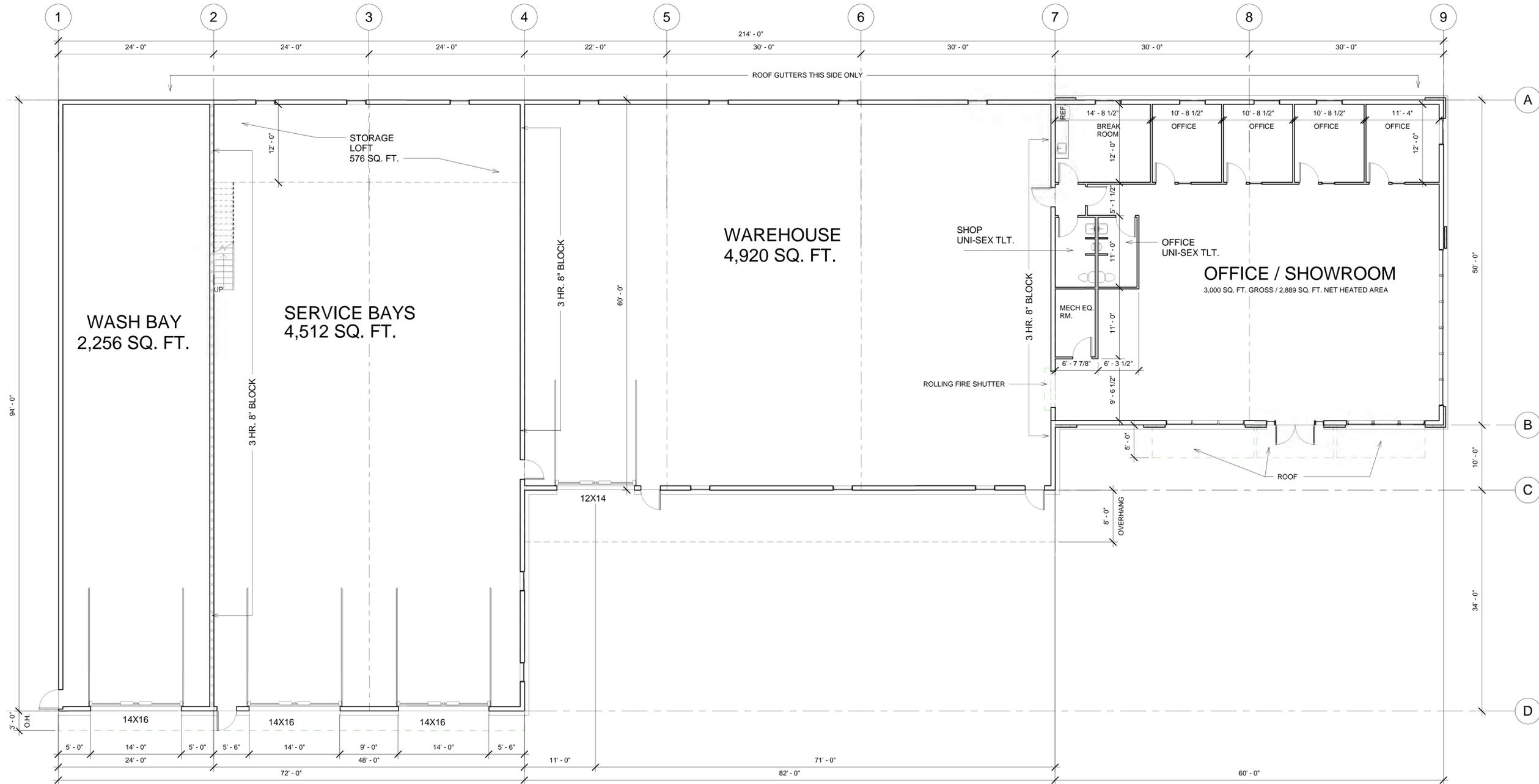
DAVID L. HARRIS REG. NO. 26561 DATE:

PROJECT NAME
**PRELIMINARY BUILDING DESIGN
FOR : CST COMPANIES**

LOCATION: COLUMBUS, MN.

DATE:

PROJ. NO.
C-20-3087



TOTAL 14,688 SQ. FT.



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DAVID L. HARRIS REG. NO. 26561 DATE:

PROJECT NAME
**PRELIMINARY BUILDING DESIGN
FOR : CST COMPANIES**

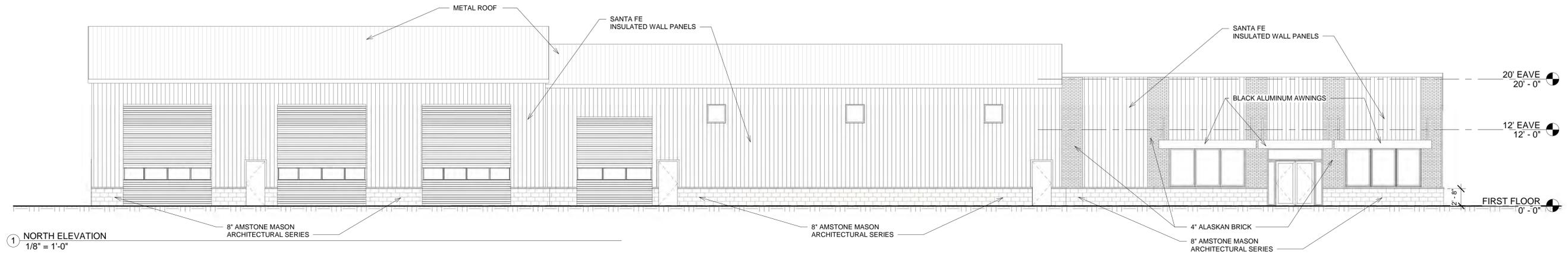
LOCATION: COLUMBUS, MN.

PRELIMINARY DESIGN 14 APRIL, 2020

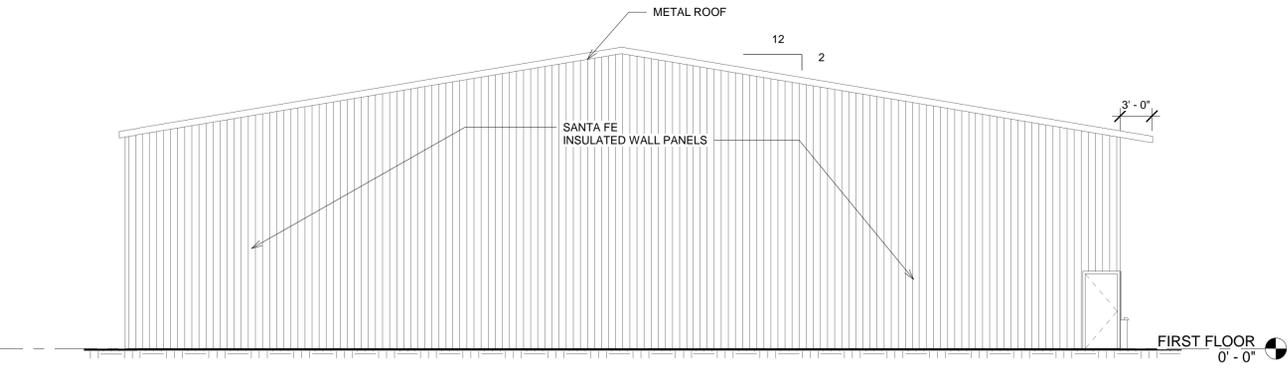
DATE:

PROJ. NO.
C-20-3087

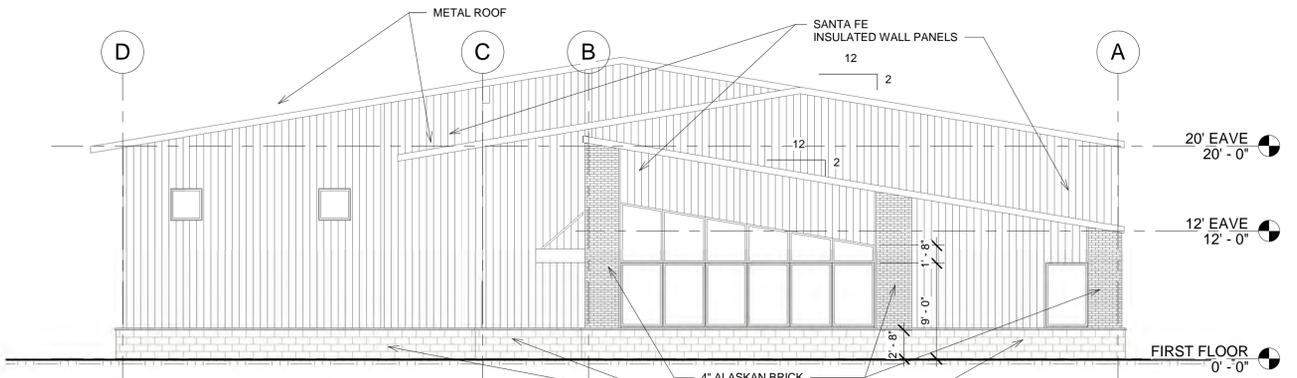
A-1 OF 2



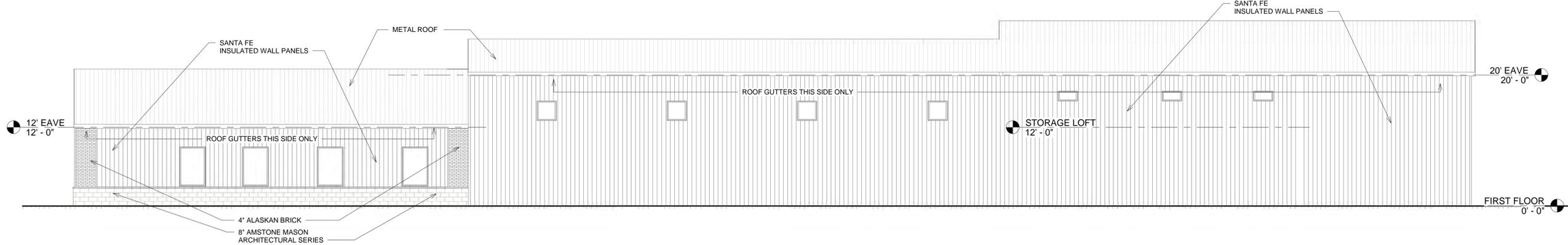
1 NORTH ELEVATION
1/8" = 1'-0"



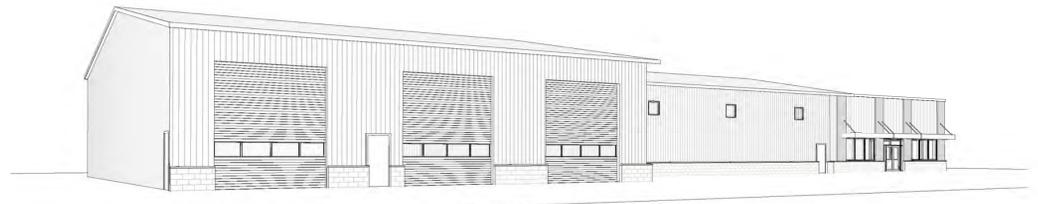
2 EAST ELEVATION
1/8" = 1'-0"



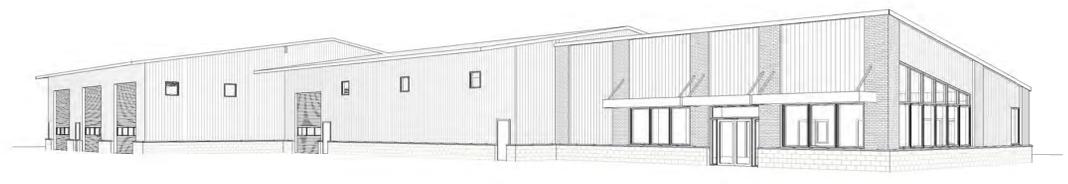
3 WEST ELEVATION
1/8" = 1'-0"



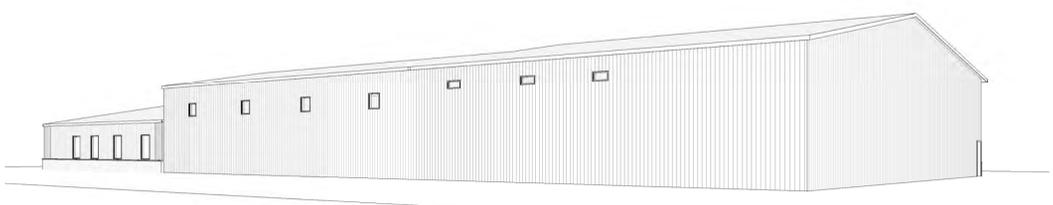
4 SOUTH ELEVATION
1/8" = 1'-0"



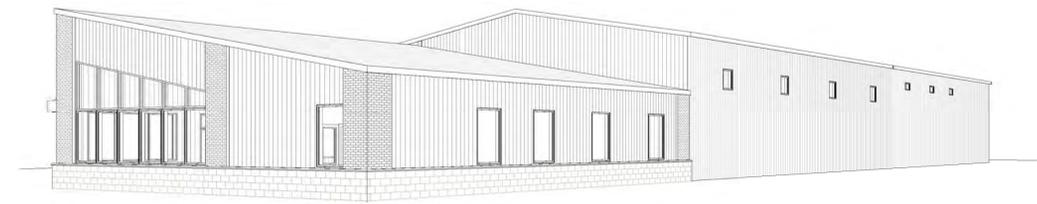
6 3D View 2



5 3D View 1



7 3D View 3



8 3D View 4

David L. Harris
Architect

545 TUTTLE DR. HASTINGS, MN. 55033
651-480-2087
dlh.architect@yahoo.com

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DAVID L. HARRIS REG. NO. 26561 DATE:

PROJECT NAME
**PRELIMINARY BUILDING DESIGN
FOR : CST COMPANIES**

LOCATION: COLUMBUS, MN.

DATE:

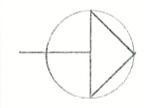
PROJ. NO.
C-20-3087

A-2 OF 2

PRELIMINARY DESIGN 14 APRIL 2020

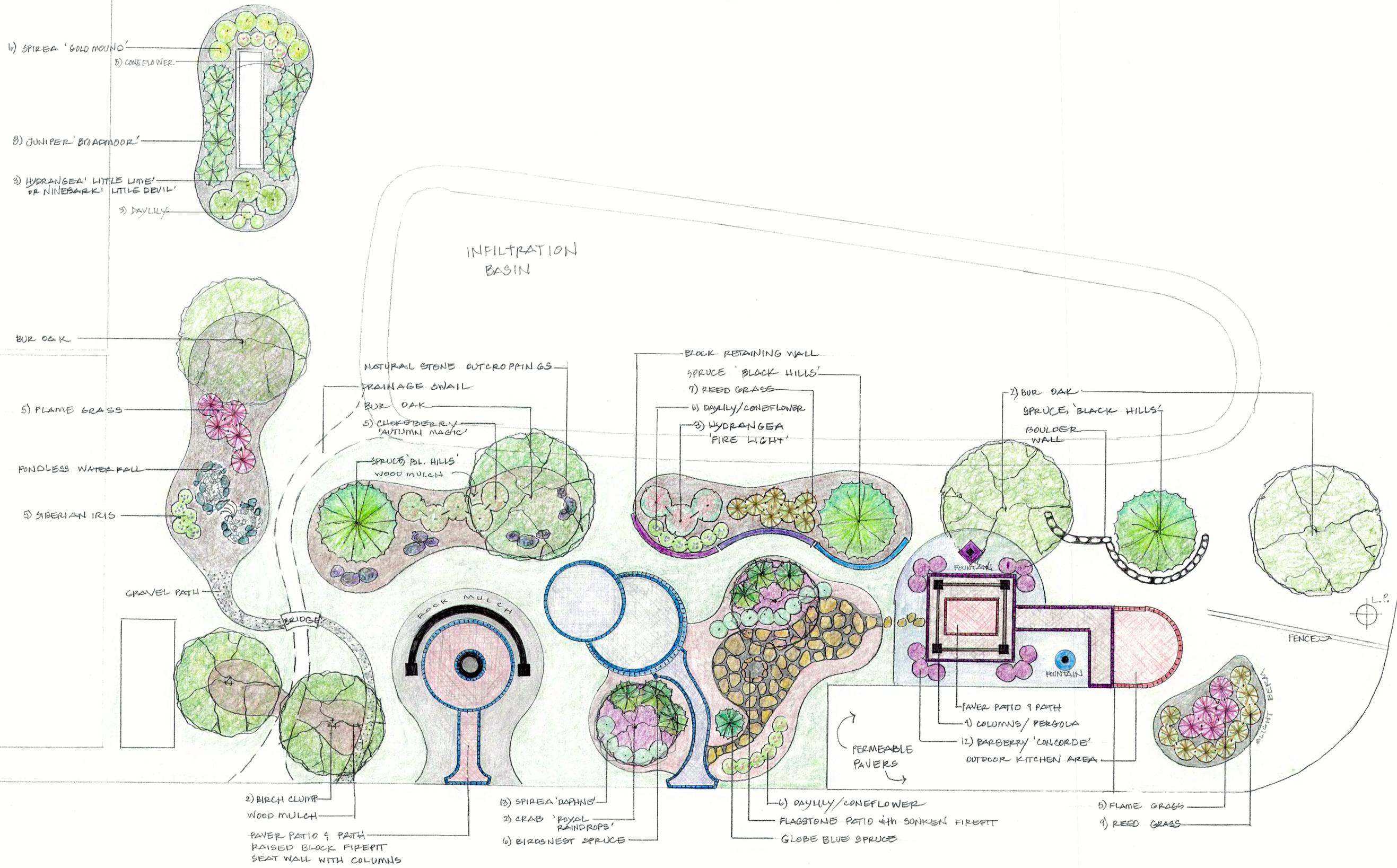
APRIL 2020
SCALE 1" = 8'
PLAN # L.2204

K. EGERBERG,
DESIGNER



TOFT PROPERTY
COLUMBUS

LANDSCAPE SUPPLY DISPLAY AREA





To: City of Columbus Planning Commission
From: Ben Gutknecht, City Planning Technician
Date: May 12, 2020
RE: CST Companies, LLC Conditional Use Permit

After review of the Conditional Use Permit Application for a business consisting of the wholesale and distribution of dry goods (firewood, softener salt, stone, mulch, etc.) and the manufacturing and warehousing of colored mulch, the City of Columbus Planning Staff provides the following Findings of Fact and Recommendations:

Findings of Fact

1. The City received a Conditional Use Permit (CUP) application from CST Companies, LLC (“CST”) on February 28, 2020 and deemed incomplete with a letter sent on March 12, 2020.
2. Upon review of further information submitted by CST on April 15, 2020, the Planning staff deemed the CUP application complete for review with a letter sent April 17, 2020.
3. The 60-day review deadline is June 16, 2020.
4. The 120-day review deadline is August 15, 2020.
5. The property in question is a total of 25.57 acres, located at 14045 Lake Dr. NE, legally described as Part of the North Half of the Northeast Quarter (N1/2 of NE1/4) of Section 33, Township 32, Range 22, lying Easterly of County State Aid Highway (CSAH) 23, subject to easement of record, Anoka County, Minnesota (PID 33-32-22-11-0003).
6. The Property is zoned Commercial Industrial (C/I).
7. The neighboring properties directly to the north include a used car dealership and two single-family residences. The neighboring property to the east is a single-family dwelling, and the property to the south is a mini storage facility.
8. The residential property to the east takes its access through the Property via documented easement, however the private driveway does not remain entirely within the easement of record.
9. There is an existing building (Single-family dwelling) on the Property, which the applicant proposes to demolish.
10. The applicants propose to erect a 14,688 square foot building on the southerly portion of the Property, with 21 paved parking proposed in the front, consistent with City Code.
11. The proposed building materials and architectural design plan dated 04.14.20 appear to be consistent with the intent of Section 7A-795 of the City Code.
12. CST would own the location, and lease back to CST Distribution LLC and CST Transportation Inc.

13. The CUP application is to permit the proposed uses of an outdoor showroom of landscape products, indoor office and warehousing facility for distribution, warehousing, and bulk sale of dry goods, and a mulch manufacturing and dying area in the C/I district.
14. The applicants hours of operation are currently estimated to be:
 - a. Monday through Friday, 7:00 a.m. to 7:00 p.m. for the months of April through August.
 - b. Less hours in the winter.
 - c. Saturday will be 8:00 a.m. to 5:00 p.m. for the months of April through June, and 8:00 a.m. to Noon for the months of July through October.
 - d. The plan on being closed Sundays, with tentative plans to remain open should higher sales require it.
15. The applicant proposes to have four to five full time employees and the owner on site.
16. The equipment on site will consist of pay loaders, forklifts, a flooring machine, and a portable wood grinder.
17. The estimated traffic levels will vary seasonally, during the winter there will primarily be just the three to four employee vehicles. Whereas spring through fall they estimate twenty to thirty (20-30) cars a day, which is based off anticipated sales.
18. Applicants anticipate truck traffic to consist of ten to fifteen (10-15) trucks per day, based on anticipated sales.
19. The site plan dated 04.14.20 indicates a landscaped showroom area at the very front of the property to show available product, which is shown in "Landscape Supply Display Area" dated April 2020.
20. Directly east of the landscaped area is proposed outdoor storage of palletized pavers, wall block, natural stone, and bagged mulch which is proposed to be stacked no higher than six (6) feet and organized in three rows. On the other side of the palletized product is proposed material bins, ranging from four (4) feet to ten (10) feet in height, within the bins is mulch, soil, sand, and aggregate rock for bulk sale.
21. South of the outdoor display of products is the proposed 14,688 square foot building, which consist of the office (3,001 s.f.), warehouse 94,920 s.f.), equipment service (4,512 s.f.) and washing bay (2,256 s.f.).
22. Directly east of the proposed wash bay is a proposed fuel station with double wall fuel storage tank at 2,000-3,000 gallons within a concrete containment and an outdoor storage area for five (5) semi-trailers, as indicated on the Site Plan dated 04.14.20.
23. The Site Plan, dated 04.14.20, indicates the wood mulching and manufacturing area as 35,000 square feet and is located northeast of the building, lying just west of the existing residential property.
24. The wood mulching and manufacturing area is proposed to be used for the storage of wood material, with plans to bring in a portable grinder a few times a season when an adequate amount of material has been collected.
25. The applicant will allow wood to be dropped off by City of Columbus contractors and homeowners for mulching.
26. The ground product would then be hauled offsite to the Elk River location to be packaged and colored, with only a small amount remaining onsite to color for bulk sale on site. Packaging of mulch will only be done at the Elk River location.

27. The “Cheetah Coloring Machine” that will be used for coloring is stated to be quieter than a lawnmower, with the colorant specifications indicating the colorant is nontoxic and water based.
28. Currently the applicant does not have plans to bring the coloring machine to the Columbus site, but in the event that business demands increase they will in the future.
29. The piles of ground mulch are anticipated to be a maximum of fifteen to eighteen feet (15-18’) in height.
30. The applicant state they have done decibel testing for noise at the Elk River location during peak season, and the noise level was gauged at a peak of 89 decibels, which is the equivalent of heavy traffic or a power mower per MPCA guidelines. Applicants state that machines shall only be run during business hours.
31. The applicants will not compost any product on the Property and the only smell anticipated is that of mulched cedar. The water-based colorant is odorless.
32. The applicants propose a six (6) foot privacy fence and evergreen tree screen to be constructed on the north property line, stretching from Lake Dr. entrance to the residential property on the east.
33. The proposed landscaping plan dated 04.14.20 does not fulfill 90% opacity for residential screening per City Code minimum requirements outlined in section 7A-820.
34. Applicants propose that the existing residential property to east will be screened to the west and south of their property by an existing berm, trees, and additional trees per applicants landscaping plan dated 04.14.20. It would appear that a privacy fence may be necessary to meet the 90% screening requirement.
35. The Planning Commission held a public hearing on the CST CUP Application on May 20th, 2020.

Recommendations

Based upon the above Findings of Fact, the Conditional Use Permit (CUP) for CST Companies, LLC (CST) should be approved subject to the following conditions:

1. Approval of the CUP is contingent upon recommendations and comments made by the City Engineer.
2. Approval of the CUP is contingent upon recommendations and comments made by the City Attorney.
3. Approval of the CUP is contingent upon requirements by the Anoka County Highway Division.
4. Approval of the CUP is contingent upon requirements by Rice Creek Watershed District.
5. The CUP, once issued, may be revoked upon a finding by the City Council that the property and/or use is not in compliance with the conditions for approval of such use, following notice and hearing.
6. Conduct of the business shall be consistent with the application and additional materials received and deemed complete by the City on April 17, 2020.

7. The grinding of wood for mulch shall not be a regular use of the property and shall only occur when necessary and is allowed during the months of May through October at 3-day intervals for 6 hours a day, and only during regular weekday business hours. The applicant shall inform the two adjacent residential neighbors one week prior to anticipated wood grinding activities.
8. CST Companies shall provide written protocol that conveys they can thoroughly inspect delivery of wood and materials that Columbus residents and contractors bring to ensure that there shall be no disposing of rotten wood or other organic materials on site.
9. All equipment associated with moving dry goods and mulching material shall be kept in the building on the Property.
10. The business may have up to 5 semi-trailers stored on site in the area indicated on the Site Plan dated 04.14.20.
11. Piles of ground mulch shall not exceed heights of fifteen (15') feet.
12. The palletized materials shall not be stacked higher than six (6') feet.
13. Bulk material bins shall not be higher than ten (10') feet in height.
14. The palletized materials, bulk bins, and mulching area shall all be cleaned such as to not cause tracking beyond its respective site, and to prevent tracking of materials on the public right of way.
15. Additional six (6) foot fencing is required for the east side of the Property to further screen outdoor mulching activities from the neighboring residential property.
16. Additional plantings shall be installed in the gaps of proposed new fencing along the north property line to meet a 90% opacity requirement. Alternatively, a continuous fence may be installed.
17. A revised access easement and driveway maintenance agreement must be negotiated with the residential property owner to the east, located at 14603 Lake Dr. to permit permanent and reasonable access.
18. There are to be no chemicals, gasses, hazardous wastes, fumes, or odors including that of composting organic material, on the Property as a result of this business, excepting normal smells associated with that of fresh mulched wood during the mulching process.
19. The mulch die agent, if used on the Property, must be nontoxic water based, per the statement outlined in narrative submitted on 04.15.20
20. Signage on the Property will require the applicant to apply for a sign permit from the City.
21. Site lighting information must be included in final set of civil plans.
22. No other uses or intensification are allowed on the Property without an amendment to the CUP.
23. Any and all uses allowed in the CUP shall be constructed, maintained, and practiced consistent with all applicable federal, state, and local laws and regulations.
24. Approval of the Conditional Use permit does not absolve the applicant of any other permitting requirements such as Building, Watershed District, County, etc,
25. The applicant shall reimburse the City for all out of pocket expenses incurred in the review and issuance of the CUP and for all ongoing inspections and enforcement actions required for the CUP.



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MEMORANDUM

Date: May 13, 2020
To: Elizabeth Mursko, City Administrator
Ben Gutnecht, City Planning Technician
Columbus Planning Commission
From: Kevin F. Bittner, City Engineer *KFB*
Subject: Conditional Use Permit – CST Companies, 14045 Lake Drive
City of Columbus

Following are my review comments on the Conditional Use Permit application from CST Companies , based on the engineering standards in the General Zoning Regulations in Chapter 7 and private sewer system requirements in Chapter 14 of the City Code:

1. Access to the site will be off CSAH 23/Lake Drive NE. A right turn lane design on the county road has been developed. Approval of the CUP should be contingent on approval of the turn lane by the Anoka County Highway Department. The driveway connection to the county road meets city requirements.
2. A storm water management report has been developed and will require review and approval of the Rice Creek Watershed District. Approval of the CUP should be contingent on approval of the report by the RCWD.
3. According to the geotechnical report and site plans provided, the building and driveway will be satisfactorily separated above the water table.
4. Primary and secondary subsurface sewage treatment system (SSTS) sites are identified on the plan and are satisfactorily distanced from the building and well. No soil boring information on the SSTS sites was provided. A minimum of four borings or test pits are required for each site. This information needs to be provided to confirm suitability of the SSTS sites for CUP approval.
5. The wood mulching area is adjacent to the biofiltration basin and stormwater outlet. Environmental information on the mulch dye products to be used and how it may or may not impact stormwater runoff needs to be provided.

Please contact me if you have any questions on the comments provided.

Proposed Ordinance Amendments

Brought to Planning Commission for discussion on 05.20.2020

1. **7A-804 (G.)**

- a. Current Code: “**Parking and Storage of Certain Vehicles**: No more than two (2) vehicles or trailers of any kind or type without required license plates shall be parked or stored on any residentially zoned property, other than in completely enclosed Buildings, with the exception of licensed antique vehicles.”
- b. Proposed Action: The addition of the prohibition of *commercial* trailers in the RR district
- c. Draft Changes: **Parking and Storage of Certain Vehicles**: No more than two (2) vehicles or recreational trailers ~~of any kind or type~~ without required license plates shall be parked or stored on any residentially zoned property, other than in completely enclosed Buildings, with the exception of licensed antique vehicles. Additionally, commercial trailers such as tractor trailers, large box trucks, etc. shall not be stored on the residential property unless entirely within an enclosed building

2. **7A-804 (H.)(4.)**

- a. Current Code: “...Land shall be considered habitable for the purposes of this Chapter 7A if it is fenced as required to restrain the animal, adequately drained so that it is not flooded, and is accessible to the animal at all times of the year other than intermittently due to severe weather.”
- b. Proposed Action: Require that pastureland shall be in the side or rear yard unless appropriately screened.
- c. Draft Changes: ...Land shall be considered habitable for the purposes of this Chapter 7A if it is fenced as required to restrain the animal, adequately drained so that it is not flooded, is accessible to the animal at all times of the year other than intermittently due to severe weather. All habitable land shall be located to the side or rear of the principal dwelling.

3. **7A-805 (D.) (1.)**

- a. Current Code: “**Garage Placement**. All garages must be located within fifty (50) feet of the Principal Building and must be used as defined in Section 7A-201 of the City Code. Garages will not be included in the total square footage limitations listed in Subsection G of this Section.”
- b. Proposed Action: Remove 50’ requirement
- c. Draft Changes: All primary garages must be used as defined in Section 7A-201 of the City Code. Garages will not be included in the total square footage limitations listed in Subsection G of this Section.

4. **7A-805 (I)**

- a. Current Code: “Residential Accessory Buildings in the SR Suburban Residential District shall be attached to the dwelling units. Each dwelling unit shall have a minimum of two (2) side-by-side garage stalls with minimum interior dimensions of eleven (11) feet by twenty four (24) feet. Surface parking spaces shall be designed to park one automobile in front of each garage stall. Surface parking spaces shall be at least ten (10) feet by (20)

feet in area. Driveway aisles between garages facing one another and sharing a common driveway shall be at least twenty-four (24) feet wide.”

- b. Proposed Action: The current code for this section regulates Accessory buildings in the SR district, now that we are removing this district should it be changed for the MU-1 district (aka the senior homes), or specifically call out the Senior Housing district as the above regulation may not apply for the MU-1 District.
- c. Draft Changes: Residential Accessory Buildings in the senior housing Mixed Use High Density (MU-1) District shall be attached to the dwelling units. Each dwelling unit shall have a minimum of two (2) side-by-side garage stalls with minimum interior dimensions of eleven (11) feet by twenty four (24) feet. Surface parking spaces shall be designed to park one automobile in front of each garage stall. Surface parking spaces shall be at least ten (10) feet by (20) feet in area. Driveway aisles between garages facing one another and sharing a common driveway shall be at least twenty-four (24) feet wide.

5. **7B-200 (M.)**

- a. Current Code: “**Flag** - Any fabric or similar flexible material attached at one end of the material, usually to a staff or pole, so as to allow movement of the material by atmospheric changes and which contains distinctive colors, patterns, symbols, emblems, insignia, or other symbolic devices.”
- b. Proposed Action: We would like to note that the City does not regulate flag sizes.
- c. Draft Changes: Any fabric or similar flexible material attached at one end of the material, usually to a staff or pole, so as to allow movement of the material by atmospheric changes and which contains distinctive colors, patterns, symbols, emblems, insignia, or other symbolic devices. The City of Columbus does not regulate flag sizes.

6. **7B-201 (F. & G)**

- a. Current Code: **(F):** “On-premises traffic directional signs (e.g. “one-way” or directional arrows), not exceeding 2 square feet in area and 4 feet in height are permitted for all commercial, industrial, and public/institutional uses.”
(G): Off-premises, non-advertising, public service directional signs (e.g. hospital, school, public/institutional facilities), not exceeding 2 square feet in area and 4 feet in height are permitted in all zoning districts.”
- b. Proposed Action: Increase the size of directional signage per the request of multiple sign companies. After review of proposed sign sizes from companies and other community ordinances no larger than 8 sqft in size and 5 ft in height appears to be appropriate.
- c. Draft Changes: **(F):** On-premises traffic directional signs (e.g. “one-way” or directional arrows), not exceeding 8 square feet in area and 5 feet in height are permitted for all commercial, industrial, and public/institutional uses.
AND
(G): Off-premises, non-advertising, public service directional signs (e.g. hospital, school, public/institutional facilities), not exceeding 8 square feet in area and 5 feet in height are permitted in all zoning districts.

7. **8-1002 (E.)**

- a. Current Code: “The proposed lot reconfiguration will not result in the movement of a lot line more than fifty (50) feet;”

- b. Proposed Action: Allow the administrative action of a lot reconfiguration **up to 500** feet.(Maybe attach certain acreage to allow this or a requirement that no buildable area is created by this lot reconfiguration)
- c. Draft Changes: The proposed lot reconfiguration will not result in the movement of a lot line more than five hundred (500) feet;

Additional Notes:

- A. Billboard: Now that we have heard from two billboard companies indicate that they intend to remove a total of 10-13 signs, do we want to increase the spacing of billboards? Is it possible to write the language that pays respect to the existing space between current billboards, but any new billboards must be at this new increased spacing.
- B. Front Yard Structure: Due to the larger number of long driveways, would allowing small 10x10 (temporary?) structure in the front yard for bus pickup be an amendment worth looking in to.
 - o Would have to ensure this doesn't turn into structures for trash cans and other "non-human shelter" use.
- C. Residential Fencing: Is there an argument to be had for cleaning up the Fence definition again?
 - o Adding the requirement (recommendation) that property owners place fence off their property line a couple feet to help avoid any trespassing should they need to do maintenance
 - o Do we have any requirements or regulations on garden/deer fencing (height, building permit requirements)?
- D. Site Plan Requirements: Add a requirement 16, that requires a narrative/outline of the permitted use the applicant is applying for. Or mimic the requirements outlined for Conditional Use Permits.
- E. Residential Accessory Building Regulations: prohibit individuals from inhabiting residential accessory structures, we could do this in Section 7A-805, or create a definition for the "Residential Accessory Structure- A Building on the same Lot with, and of a nature customarily incidental and subordinate to, the Principal Structure, primarily used for the private storage of vehicles, equipment, or shop space. The habitation of Accessory structures is prohibited."
- F. Residential Accessory Building House Keeping: Section 7A-805 (L) of the City code is currently recorded as "7A-805 (I). making it the second I in the Accessory Dwelling ordinance. This should be edited.